

GAS LINE DECOMMISSIONING PILOT

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Albany City Council
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BACKGROUND

Pilot project: Decommission a section of gas pipeline (1 City block) and electrify all connected buildings

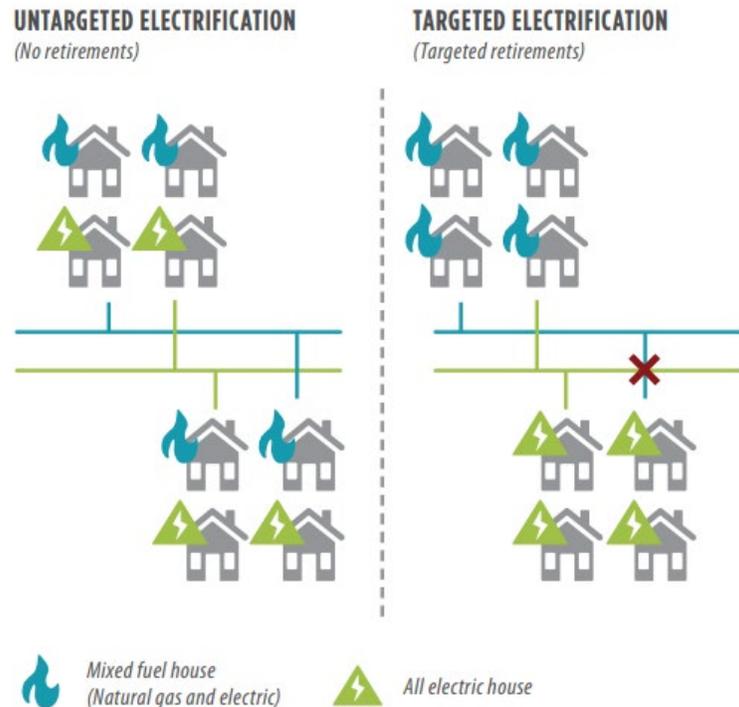
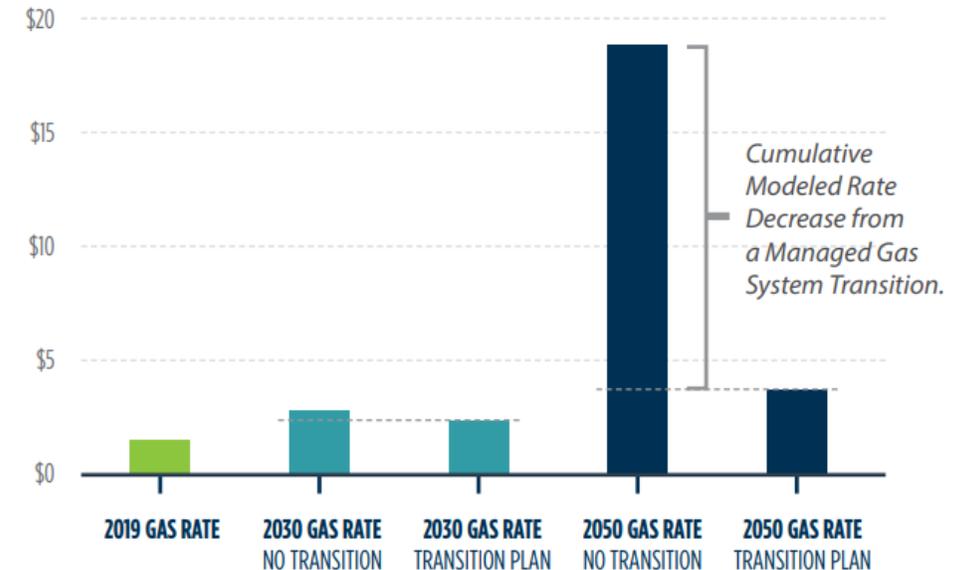


FIGURE ES1. 2050 Gas Rate Reductions Resulting from Proposed Solutions

Source: E3

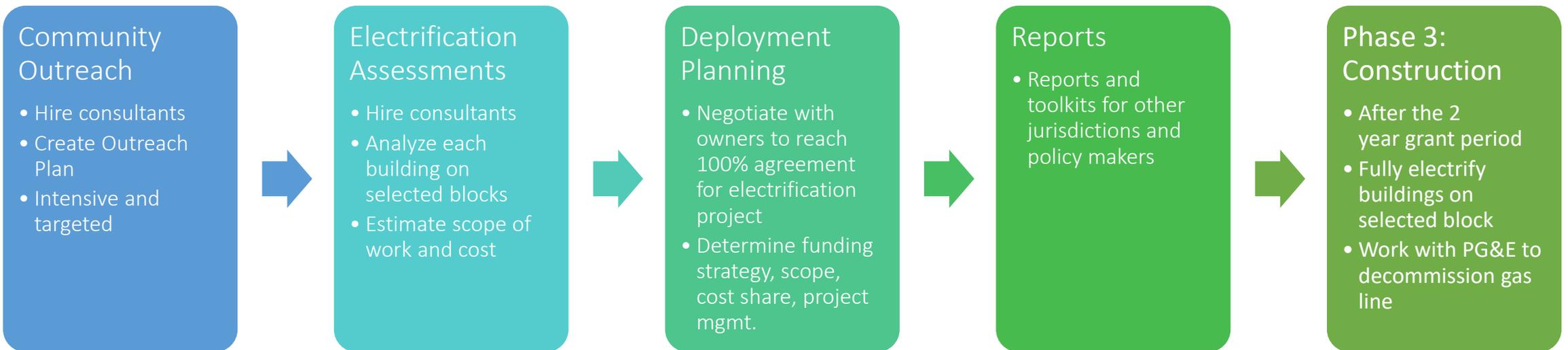


BACKGROUND

- Staff have worked with PG&E to identify 12 potential sites
- DOE awarded a \$200,000 grant for next phase of the project
 - Community outreach, building electrification analyses, deployment planning
- In order to decommission, ALL building owners on the block must agree to electrify



NEXT STEPS



STRATEGIZING OUTREACH

- Need to determine which blocks to begin outreach with
- Staff will work with consultants to create outreach plan including specific blocks
 - Based on priorities set by Council tonight
- Many potential ways to prioritize

Variety of block types or similar?

Balance of factors or prioritize one?

Focus on equity? Deliverability?
Building types? GHG emissions?
Something else?



BLOCKS GROUPED BY BUILDING TYPE

Blocks A-E

- Single family, 10-30 units
- Renter population varies
 - A: 70%
 - B and C: 30-35%
 - D and E: 10-15%

Blocks F-I

- Single and Multifamily, 80-95% renters
- F and G are smaller (20-30 units), H and I are larger (60-75 units)
- F and I have a commercial building

Blocks J-L

- Single and multifamily, including condos
- J and K have 35-40 units, 50-60% renters
- L has only 10 units, mostly owner-occupied



DELIVERABILITY AND Equity

Deliverability

- Likelihood to get 100% buy-in and complete electrification project
- Fewer building owners
- Fewer and newer units

Potential Equity Impact

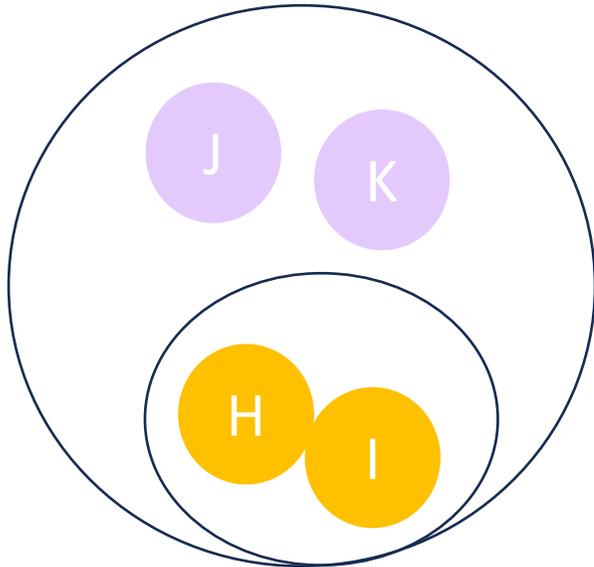
- Multifamily buildings
- Renter-occupied units
- Low-income households? Other equity factors we can't measure



EQUITY

DELIVERABILITY

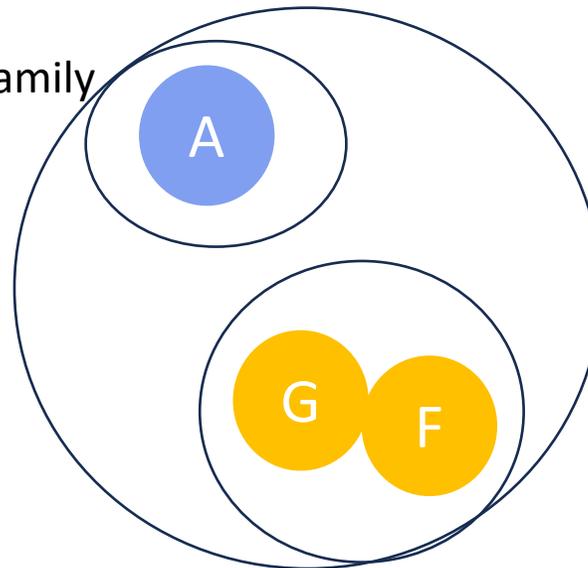
Mostly multifamily buildings



High renter population

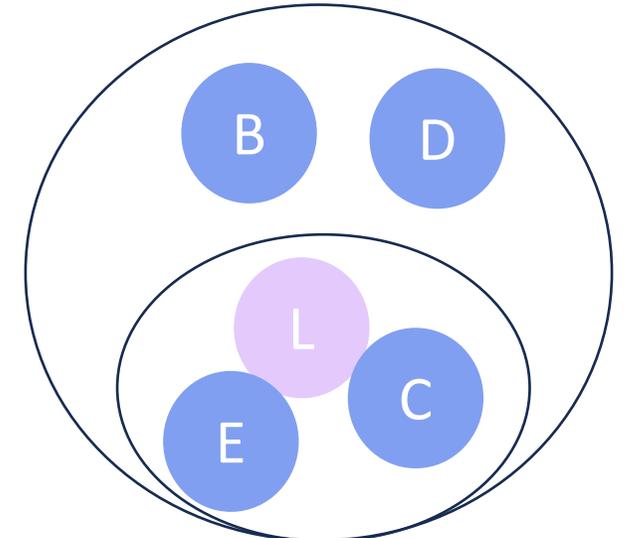
High renter population

All single family buildings



Some multifamily buildings

Few units and owners



Newer buildings



RECOMMENDATIONS

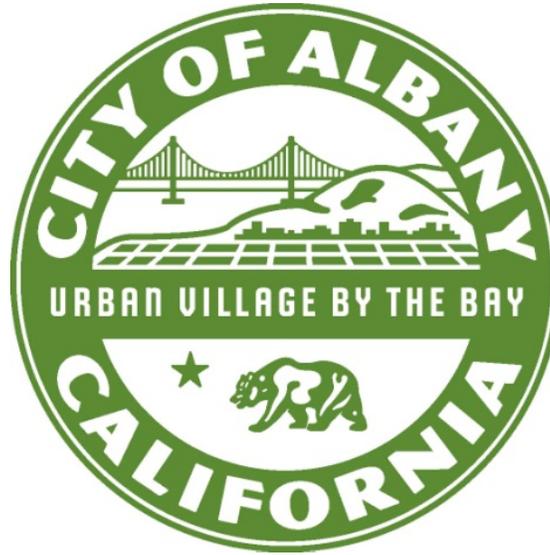
CAC Recommendation

- Conduct some level of outreach to all 12 blocks; and
- Prioritize blocks that *balance*
 - Deliverability- defined by a fewer number of owners
 - and Equity- defined by a larger number of multifamily buildings and higher renter populations

Staff Recommendation

- Direct staff to prioritize the initial Gas Line Decommissioning Pilot Project outreach to a limited number of blocks containing a variety of different characteristics





QUESTIONS?

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