



# GAS LINE DECOMMISSIONING PILOT

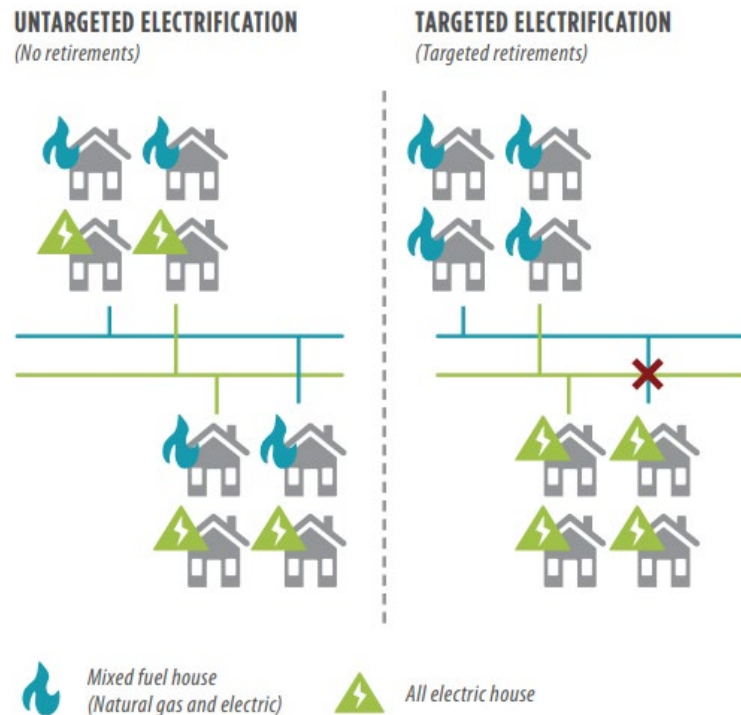
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Albany City Council  
May 6th, 2024

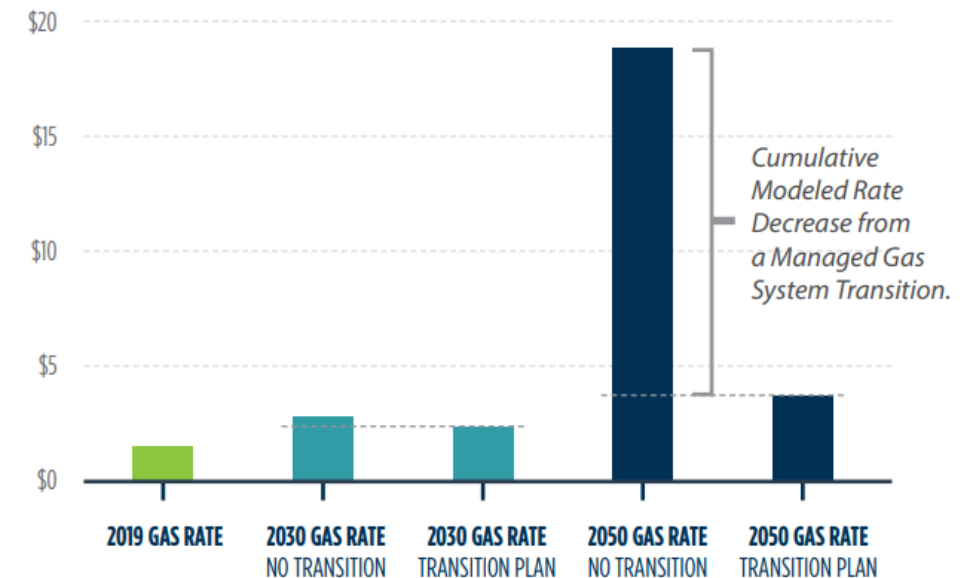
# BACKGROUND

Pilot project: Decommission a section of gas pipeline (1 City block) and electrify all connected buildings



**FIGURE ES1.** 2050 Gas Rate Reductions Resulting from Proposed Solutions

Source: E3



# BACKGROUND

- Staff have worked with PG&E to identify 12 potential sites
- DOE awarded a \$200,000 grant for next phase of the project
  - Community outreach, building electrification analyses, deployment planning
- In order to decommission, ALL building owners on the block must agree to electrify



# NEXT STEPS

## Community Outreach

- Hire consultants
- Create Outreach Plan
- Intensive and targeted



## Electrification Assessments

- Hire consultants
- Analyze each building on selected blocks
- Estimate scope of work and cost



## Deployment Planning

- Negotiate with owners to reach 100% agreement for electrification project
- Determine funding strategy, scope, cost share, project mgmt.



## Reports

- Reports and toolkits for other jurisdictions and policy makers



## Phase 3: Construction

- After the 2 year grant period
- Fully electrify buildings on selected block
- Work with PG&E to decommission gas line

# STRATEGIZING OUTREACH

- Need to determine which blocks to begin outreach with
- Staff will work with consultants to create outreach plan including specific blocks
  - Based on priorities set by Council tonight
- Many potential ways to prioritize

Variety of block types or similar?

Balance of factors or prioritize one?

Focus on equity? Deliverability?  
Building types? GHG emissions?  
Something else?



# BLOCKS GROUPED BY BUILDING TYPE

## Blocks A-E

- Single family, 10-30 units
- Renter population varies
  - A: 70%
  - B and C: 30-35%
  - D and E: 10-15%

## Blocks F-I

- Single and Multifamily, 80-95% renters
- F and G are smaller (20-30 units), H and I are larger (60-75 units)
- F and I have a commercial building

## Blocks J-L

- Single and multifamily, including condos
- J and K have 35-40 units, 50-60% renters
- L has only 10 units, mostly owner-occupied



# DELIVERABILITY AND Equity

## Deliverability

- Likelihood to get 100% buy-in and complete electrification project
- Fewer building owners
- Fewer and newer units

## Potential Equity Impact

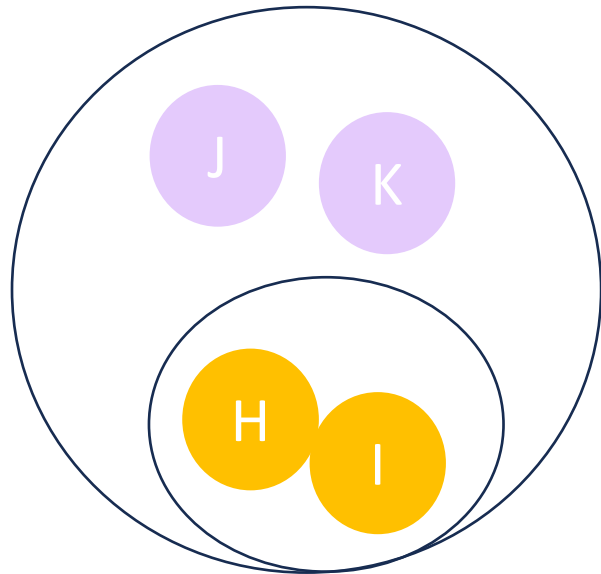
- Multifamily buildings
- Renter-occupied units
- Low-income households? Other equity factors we can't measure



# EQUITY

# DELIVERABILITY

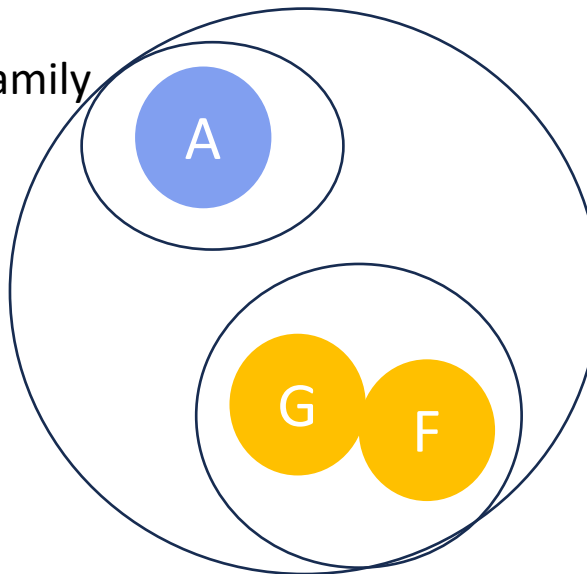
Mostly multifamily  
buildings



High renter  
population

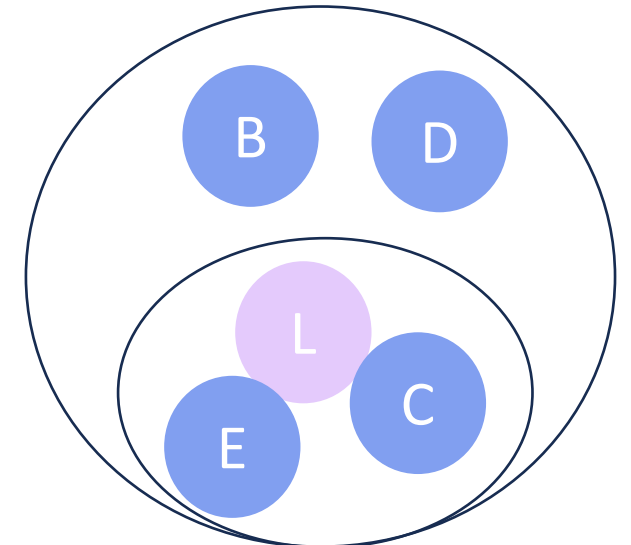
High renter population

All single family  
buildings



Some multifamily buildings

Few units and owners



Newer  
buildings





# RECOMMENDATIONS

## CAC Recommendation

- Conduct some level of outreach to all 12 blocks; and
- Prioritize blocks that *balance*
  - Deliverability- defined by a fewer number of owners
  - and Equity- defined by a larger number of multifamily buildings and higher renter populations

## Staff Recommendation

- Direct staff to prioritize the initial Gas Line Decommissioning Pilot Project outreach to a limited number of blocks containing a variety of different characteristics





# QUESTIONS?

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