

ABBREVIATIONS

Ø	AT
Φ	DIAMETER
#	NUMBER
ADJ.	ADJUSTIBLE
ALT.	ALTERNATE
ALUM.	ALUMINUM
APPROX.	APPROXIMATELY
BD.	BOARD
BLDG.	BUILDING
BLKS.	BLOCKING
BM.	BEAM
B.O.B.	BOTTOM OF BEAM
BTWN.	BETWEEN
CAB.	CABINET
C.A.R.	COLD AIR RETURN
C.H.	CEILING HEIGHT
CL.	CLOSET
C.J.	CONTROL JOINT/
	CEILING JOIST
CLG.	CEILING
CLR.	CLEAR
CONC.	CONCRETE
CONT.	CONTINUOUS
D.	DRYER
DBL.	DOUBLE
DIA.	DIAMETER
DN.	DOWN
DP.	DAMP PROOF
DW.	DISHWASHER
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
ELEV.	ELEVATION
ELEC.	ELECTRIC/ELECTRICAL
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXT.	EXTERIOR
F.	FIXED
F.A.U.	FORCED AIR UNIT
FDTN.	FOUNDATION
FIN.	FINISH
FIXT.	FIXTURE
F.F.	FINISHED FLOOR
F.J.	FLOOR JOIST
FLUOR.	FLUORESCENT
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
FT.	FOOT/FEET
FTG.	FOOTING
FURN.	FURNACE
G.	GAS
GA.	GAUGE
GALV.	GALVANIZED
G/D	GARBAGE DISPOSAL
GL.	GLASS
GLZ.	GLAZING
G.S.M.	GALVANIZED SHEET METAL
GYP. BD.	GYP SUM BOARD
H.B.	HOSE BIB
HR.	HOUR
HT.	HEIGHT
ID.	INSIDE DIMENSION
INT.	INTERIOR
L.	LAMINATED
LT.	LIGHT
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MIS.	MISCELLANEOUS
MTL.	METAL
(N)	NEN
NLG.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
OBSC.	OBSCURE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPER.	OPERATION
O.S.C.I.	OWNER SUPPLY
	CONTRACTOR INSTALLED
PERF.	PERFORATED
P.L.	PROPERTY LINE
P. LAM.	PLASTIC LAMINATE
PLYWD.	PLYWOOD
PROP.	PROPERTY
P.T.	PRESSURE TREATED
PTD.	PAINTED
R.	RISERS/RADIUS
R.D.	ROOF DRAIN
REG.	REGISTER
REF.	REFRIGERATOR
REQ'D	REQUIRED
R.O.	ROUGH OPENING
R.O.S.	ROLL-OUT SHELF
R.W.L.	RAIN WATER LEADER
S.A.D.	SEE ARCHITECTURAL
	DRAWINGS
SHT.	SHEET
SIM.	SIMILAR
S.S.D.	SEE STRUCTURAL DRAWINGS
STD.	STANDARD
ST.	STREET
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SQ.	SQUARE
T	TEMPER/TOILET/TREAD
T&G	TONGUE & GROOVE
T.B.	TONEL BAR
T.B.D.	TO BE DETERMINED
TEL.	TELEPHONE
T.M.E.	TO MATCH EXISTING
T.O.C.	TOP OF CONCRETE/CURB
T.O.M.	TOP OF MALL
T.P.	TOILET PAPER HOLDER
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.G.	VERTICAL GRAIN
V.I.F.	VERIFY IN FIELD
W	WASHER
W	WITH
W/D	STACKABLE WASHER/DRYER
W/O	WITHOUT
WOOD	WOOD
WH.	WATER HEATER
W.P.	WATERPROOFING

APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE

2022 CALIFORNIA RESIDENTIAL CODE

2022 CALIFORNIA ELECTRICAL CODE

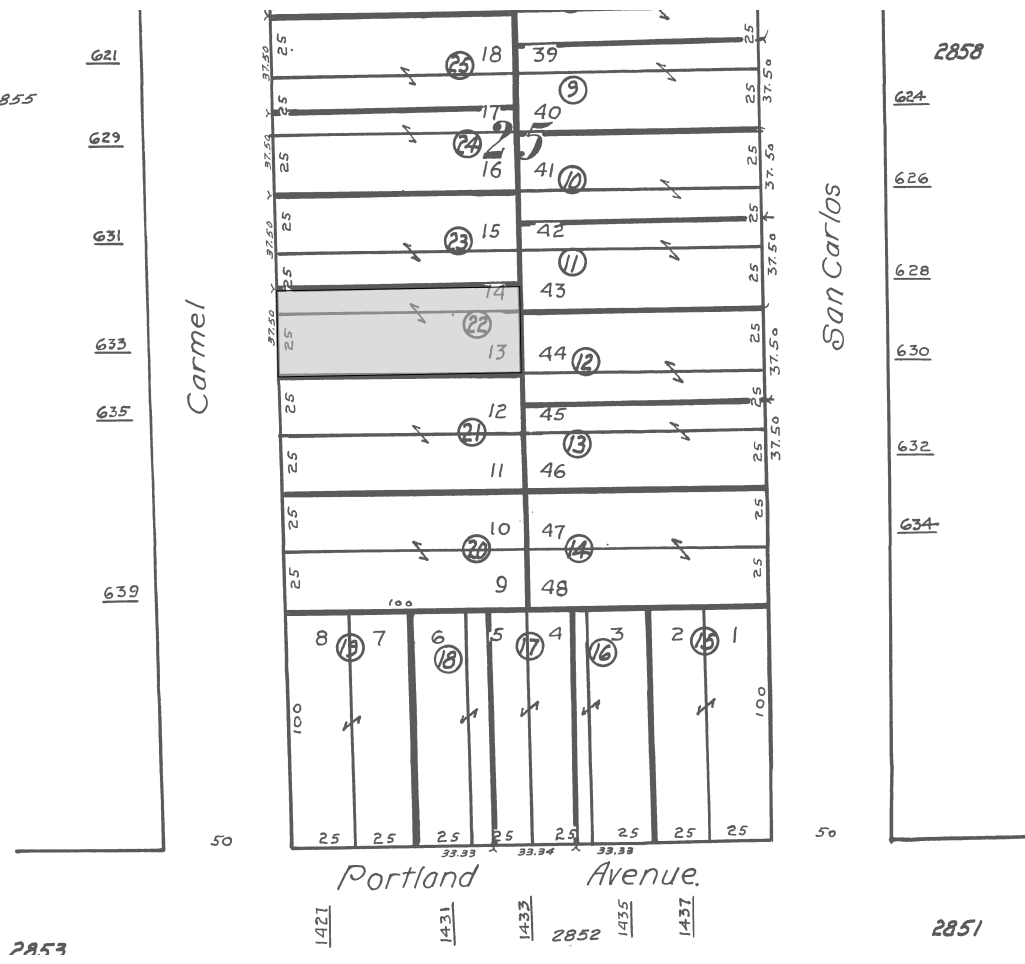
2022 CALIFORNIA MECHANICAL CODE

2022 CALIFORNIA PLUMBING CODE

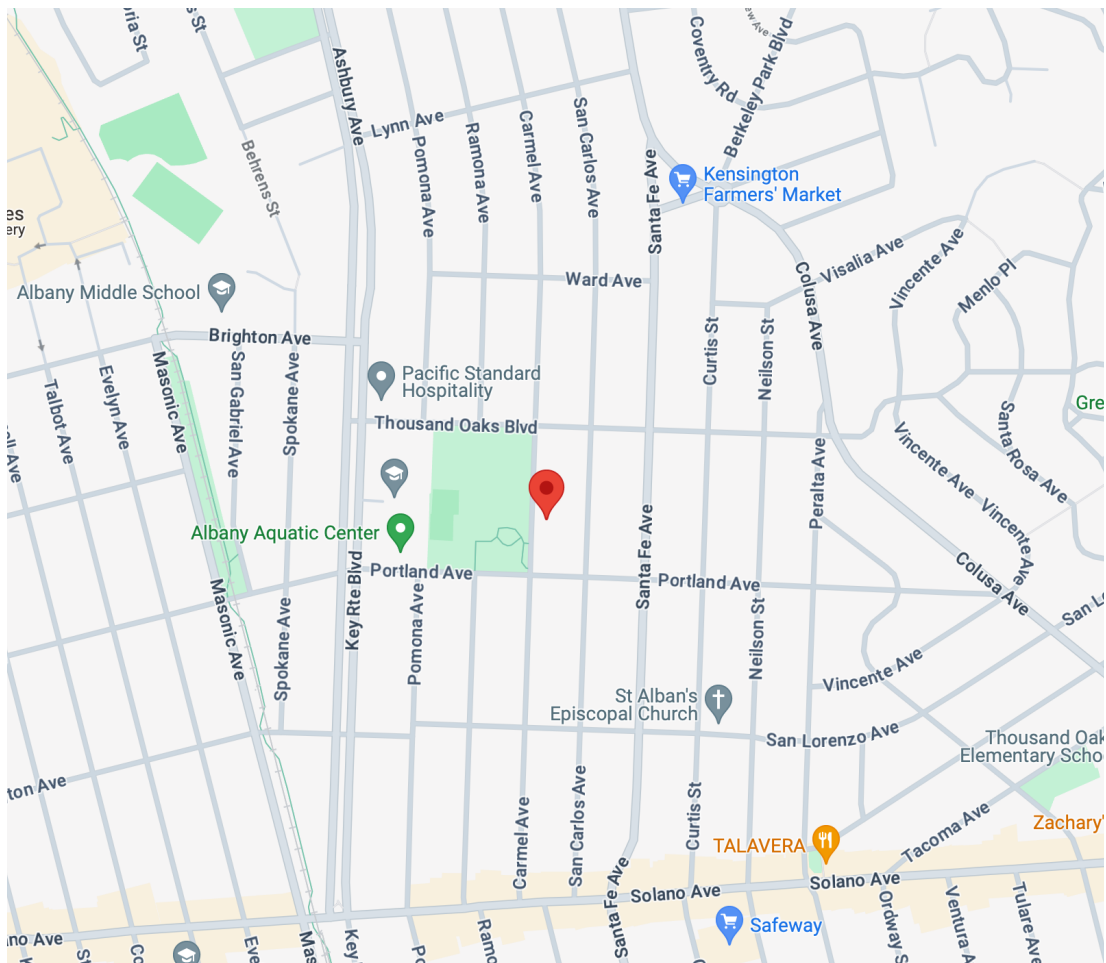
2022 CALIFORNIA ENERGY CODE

2022 CALIFORNIA FIRE CODE

2022 CALGREEN CODE



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

GENERAL NOTES:

1. THE CONTRACT DOCUMENTS INCLUDE THE PLANS, SPECIFICATIONS, AND THE AGREEMENT BETWEEN OWNER AND CONTRACTOR AND THE INTENT OF THESE SPECIFICATIONS.

2. THE CONTRACTOR SHALL SECURE ALL PERMITS.

3. THE OWNER SHALL PAY FOR PLAN CHECK AND PERMIT FEES.

4. EACH SUBCONTRACTOR SHALL COMPLY WITH GOVERNMENT CODES AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH COMPLIANCE.

5. THE GENERAL CONTRACTOR SHALL CALL FOR ALL ARCHITECTURAL, STRUCTURAL AND GOVERNMENTAL INSPECTIONS AS REQUIRED AND AS CALLED FOR IN THESE SPECIFICATIONS.

6. BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

7. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. THE CONTRACTOR SHALL GUARANTEE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION, INSPECTION AND ACCEPTANCE OF HIS WORK.

8. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. WORK NOT COVERED IN THE CONTRACT DOCUMENTS WILL NOT BE REQUIRED UNLESS IT IS CONSISTENT THEREWITH AND IS REASONABLY INFERABLE THEREFROM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.

9. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IF DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

10. THE DIMENSIONS SHOWN ON PLANS, SECTIONS AND DETAILS ARE TO FACE OF FRAMING, GRID LINE, OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED.

11. WRITTEN DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALED DIMENSIONS AND LINE DRAWINGS.

12. SUBSTITUTIONS OF EQUIVALENT MATERIALS OR EQUIPMENT FOR THOSE DESIGNATED BY TRADE OR BRAND NAME MAY BE MADE ONLY ON APPROVAL OF THE ARCHITECT. MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR AS DESCRIBED IN THE SPECIFICATIONS.

13. DISPOSE OF ALL DEBRIS AND SURPLUS MATERIALS FROM THE SITE AND EXCAVATIONS IN A LEGAL MANNER. MAINTAIN ALL PARTS OF THE PROJECT IN A CLEAN AND ORDERLY CONDITION.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTION PROGRAMS IN CONNECTION WITH WORK, AND FOR MAINTAINING APPROPRIATE INSURANCE TO PROTECT THE CONTRACTOR, THE OWNER AND THE ARCHITECT.

15. CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF APPLICABLE UTILITIES, INCLUDING BUT NOT LIMITED TO GAS, WATER, POWER, SEWER, TELEPHONE, AND CABLE TELEVISION, DETERMINE EXACT LOCATIONS AND AVAILABILITY OF UTILITIES, AND DETERMINE CONDITION OF EXISTING SERVICE PRIOR TO COMMENCING WORK.

16. THE OWNER SHALL PAY FOR TESTING OF ANY MATERIALS DISCOVERED ON THE SITE BY THE ARCHITECT, OWNER OR CONTRACTOR SUSPECTED OF CONTAINING TOXIC SUBSTANCES REQUIRING SPECIAL REMOVAL AND DISPOSAL. CHANGES TO THE CONTRACT RESULTING FROM THE DISCOVERY, TESTING, OR REMOVAL OF SUCH MATERIALS (IF ANY) SHALL BE EFFECTED BY A CHANGE ORDER.

PROJECT DATA:

ADDRESS: 633 CARMEL AVENUE

PROJECT DESCRIPTION:

MAIN LEVEL - REORGANIZE FOR FAMILY ROOM, BEDROOM 1, BEDROOM 2, BATH 1, HALL 1, AND STAIRS TO THE UPPER LEVEL.

UPPER LEVEL - NEW UPPER LEVEL FOR BEDROOM 3, BEDROOM 4, HALL 2, BATH 2, BATH 3, AND LAUNDRY ROOM. ADD 1695SF.

APN: 67-2857-22

ZONING DISTRICT: R-1

LOCAL LANDMARK: NO

OCCUPANCY TYPE: R-3

BUILDING TYPE: TYPE VB

PROPOSED ADDITION: MAIN HOUSE = 169 SF
ADU = 384 SF

SPRINKLERED: MAIN HOUSE - (E) = NO
(N) = YES

(N) ADU = YES

PLANNING INFORMATION				
ZONING: R-1 APN: 67-2857-22				
SETBACKS/HEIGHTS/ETC	REQUIRED/ALLOWED	EXISTING	PROPOSED	
MAIN BUILDING				
FRONT YARD	150"	152"	UNCHANGED	
NORTH SIDE YARD	39"	10"	UNCHANGED (38.4" AT ADDITION)	
SOUTH SIDE YARD	39"	72"	UNCHANGED (77" AT ADDITION)	
REAR YARD	200"	3010"	2910"	
MAXIMUM HEIGHT	280"	1710"	270"	
ACCESSORY BUILDING				
		GARAGE	ADU	
FRONT YARD	-	81'5"	UNCHANGED	
NORTH SIDE YARD	30"	17'5"	13'6"	
SOUTH SIDE YARD	30"	1'8"	UNCHANGED (30" AT ADDITION)	
REAR YARD	30"	-6 1/2"	UNCHANGED (30" AT ADDITION)	
MAXIMUM HEIGHT	200"	11'11"	19'10"	
LOT AREA (SF)	3,750	3,750	3,750	
BUILDING FOOTPRINT		1,767	1,854	
LOT COVERAGE	0.50	0.47	0.49	
FLOOR AREA RATIO (F.A.R.)	0.55	0.50	0.55	
PARKING SPACES	0	1	0	
DWELLING UNITS	1 + ADU	1	1 + ADU	
FLOOR AREA	REQUIRED/ALLOWED	EXISTING	PROPOSED	CHANGE
GARAGE		345	0	-345
ADU		0	729	729
COVERED PORCH		56	56	0
INTERIOR STAIRS		44	104	82
LOWER LEVEL		361	0	-361
MAIN LEVEL		1,343	1,313	-30
UPPER LEVEL		0	641	641
TOTALS	2,062	2,149	2,843	
ADU EXEMPTION	0	0	-729	
STAIR EXEMPTION	-60	-22	-52	
GARAGE EXEMPTION	-220	-220	0	
TOTALS	2,062	1,907	2,062	169
IMPERVIOUS SURFACES		EXISTING	PROPOSED	CHANGE
MAIN HOUSE FOOTPRINT		1,430	1,456	26
GARAGE FOOTPRINT		337	0	-337
ADU FOOTPRINT		0	398	398
ENTRY WALKWAY		83	83	0
DRIVEWAY		633	554	-79
REAR STAIRS		0	75	75
TOTALS		2,483	2,566	83

SHEET INDEX

ARCHITECTURAL

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A0.3	PHOTO DOCUMENTATION
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A2.2	MAIN HOUSE FLOOR PLANS
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L1	LANDSCAPE PLAN

SURVEY

SURVEY

SURVEY

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2025-06-10-UPDATED BY
STAFF WITH ARCHITECT'S
AUTHORIZATION

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LEUNG/
MAH
ALTERATIONS

633 CARMEL AVENUE
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CONTENT

TITLE SHEET

DESCRIPTION	DATE
SCHEMATIC SET	09.05.2024
PRELIM. EST. SET	11.22.2024
DESIGN REVIEW SET	03.05.2025
DESIGN REVIEW SET	04.08.2025
DESIGN REVIEW SET	05.15.2025

SCALE

N / A

SHEET

A 0.1

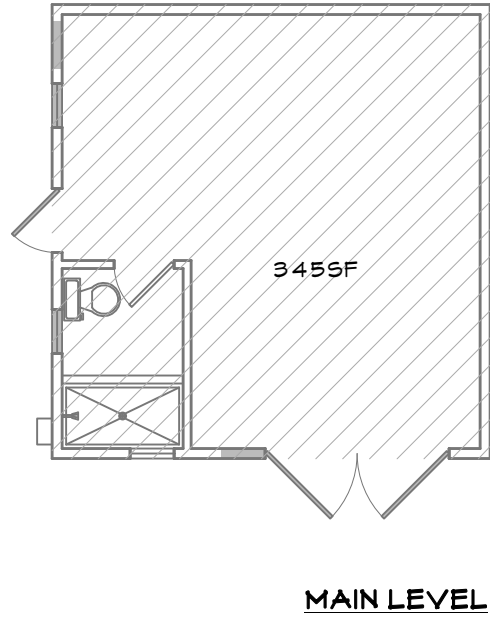
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WITH ARCHITECT'S AUTHORIZATION

FLOOR AREA	REQUIRED/ALLOWED	EXISTING	PROPOSED	CHANGE
GARAGE		345	0	345
ADU		0	729	729
COVERED PORCH		56	56	0
INTERIOR STAIRS		44	104	82
LOWER LEVEL		361	0	361
MAIN LEVEL		1,343 *	1,313	-30
UPPER LEVEL		0	641	641
TOTALS	2,062	2,149	2,843	
ADU EXEMPTION	0	0	-729	
STAIR EXEMPTION	-60	-22	-52	
GARAGE EXEMPTION	-220	-220	0	
TOTALS	2,062	1,907	2,062	169

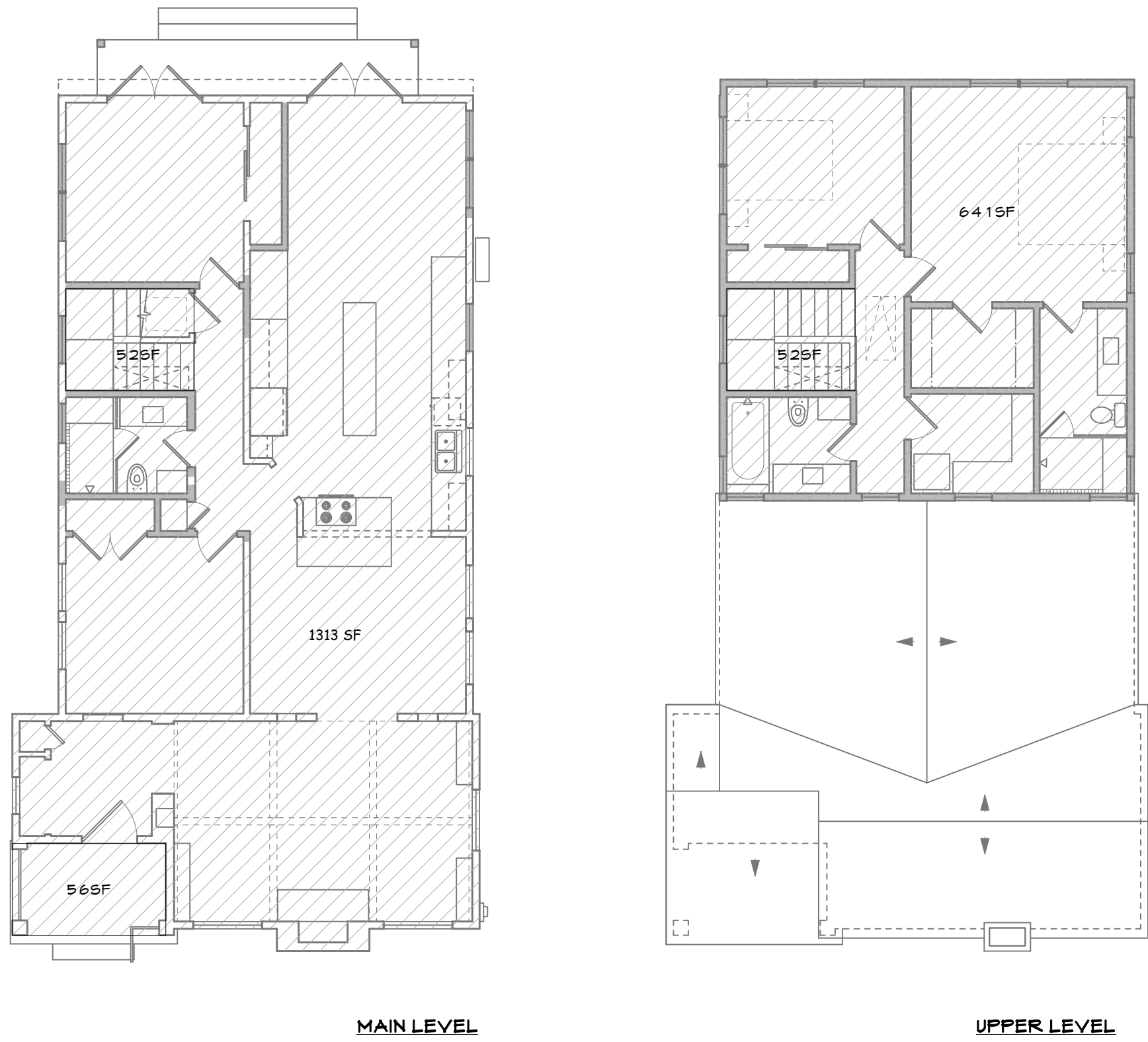
* Existing
Split-level:
978 sf, lower
level
+
365 sf, upper
level



1 MAIN HOUSE EXISTING CONDITIONS 1/8" = 1'-0"



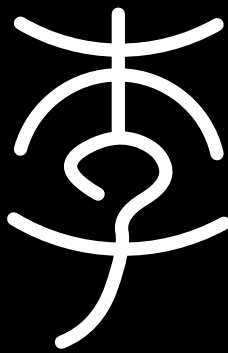
2 GARAGE EXISTING CONDITIONS 1/8" = 1'-0"



3 MAIN HOUSE PROPOSED CONDITIONS 1/8" = 1'-0"



4 ADU PROPOSED CONDITIONS 1/8" = 1'-0"



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CONTENT

AREA CALCULATIONS

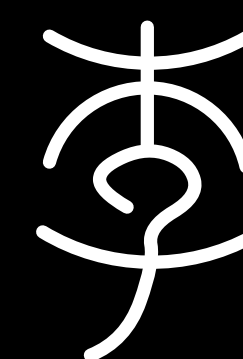
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DESIGN REVIEW SET	05.15.2025

SCALE

1/8" = 1'-0"

SHEET

A 0.2



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PHOTO DOCUMENTATION

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DESIGN REVIEW SET	05.15.2025

SCALE

N / A

SHEET

A 0.3



629 CARMEL AVE.

631 CARMEL AVE.

633 CARMEL AVE.
SUBJECT PROPERTY

635 CARMEL AVE.

639 CARMEL AVE.

1427 PORTLAND AVE.

LOOKING EAST

1 CARMEL AVENUE STREET PANORAMIC



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

2 MAIN HOUSE PHOTOS



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CONTENTS

SITE PLAN

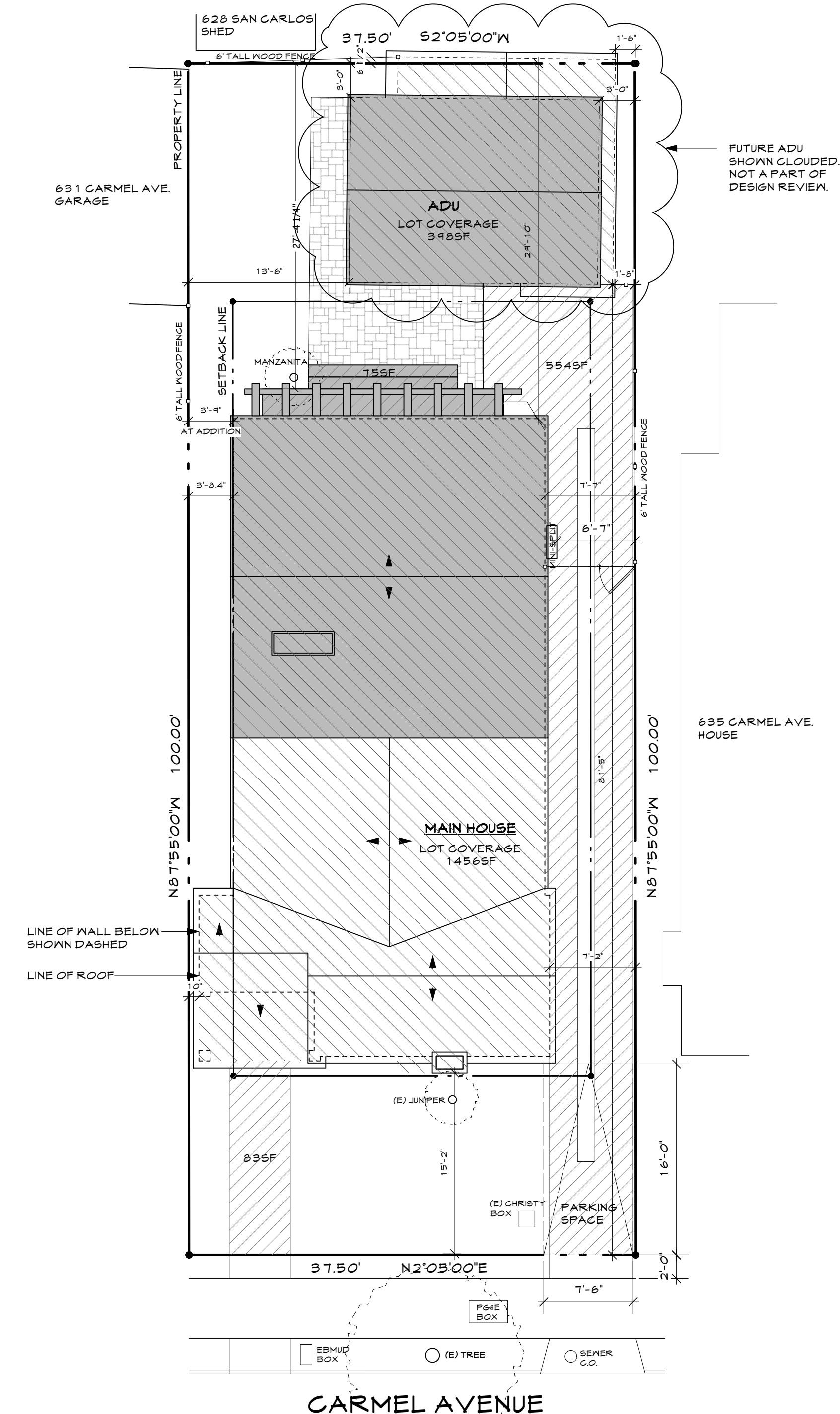
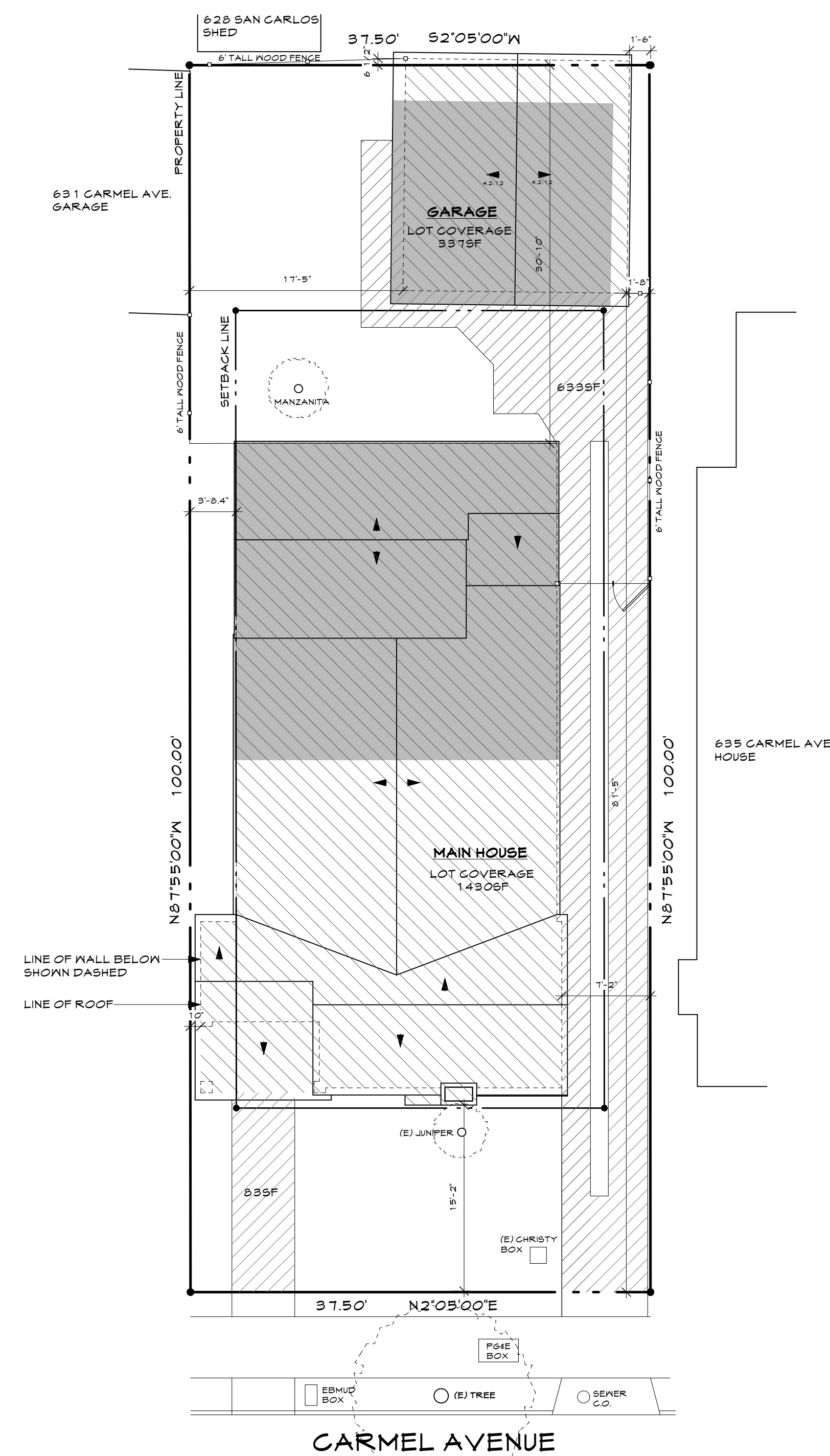
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CALE

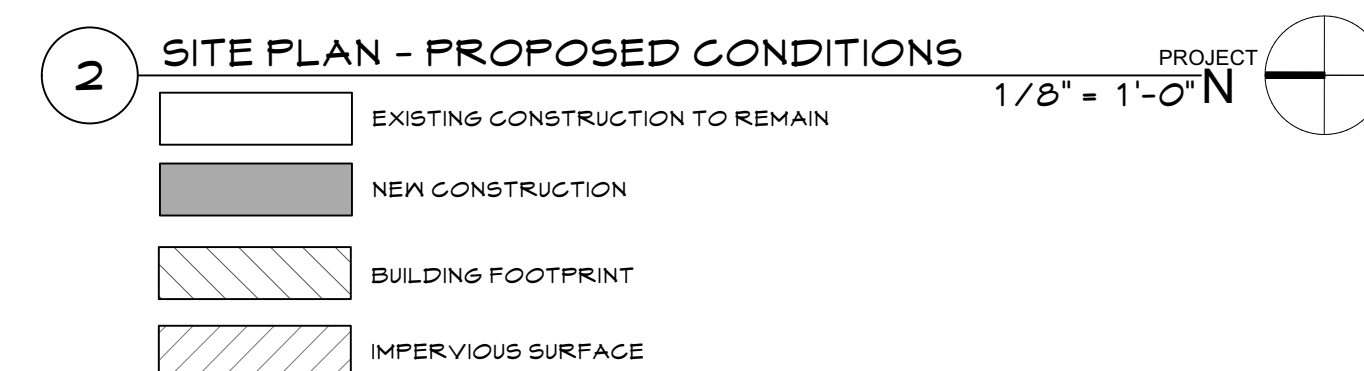
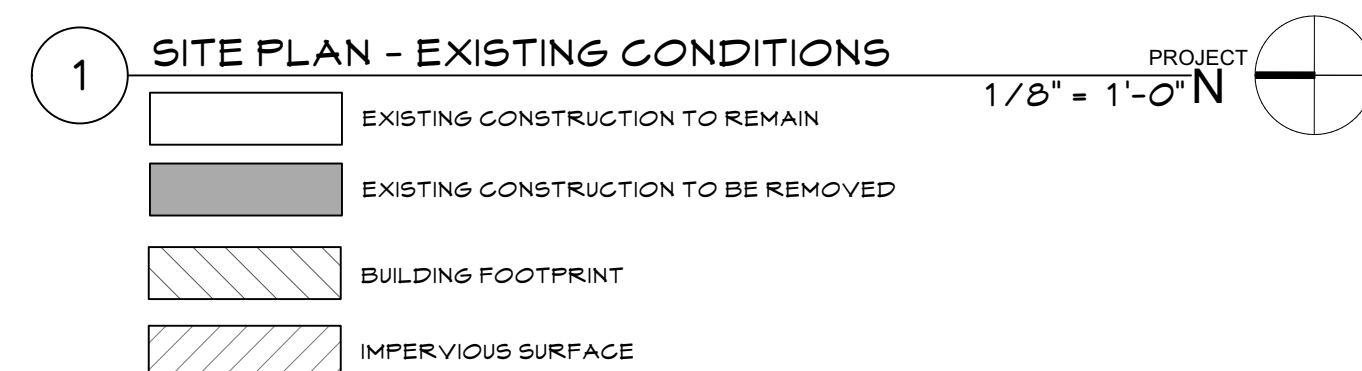
$$L/8'' = 1'-0''$$

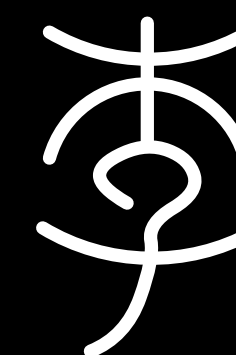
HEET

A 1.1



IMPERVIOUS SURFACES	EXISTING	PROPOSED	CHANGE
MAIN HOUSE FOOTPRINT	1,430	1,456	26
GARAGE FOOTPRINT	337	0	-337
ADU FOOTPRINT	0	398	398
ENTRY WALKWAY	83	83	0
DRIVEWAY	633	554	-79
REAR STAIRS	0	75	75
TOTALS	2,483	2,566	83

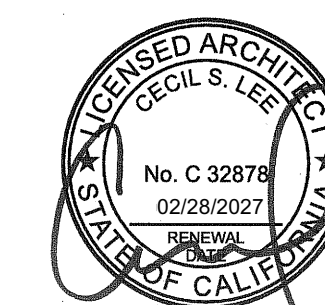




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CONTENT

FLOOR PLAN

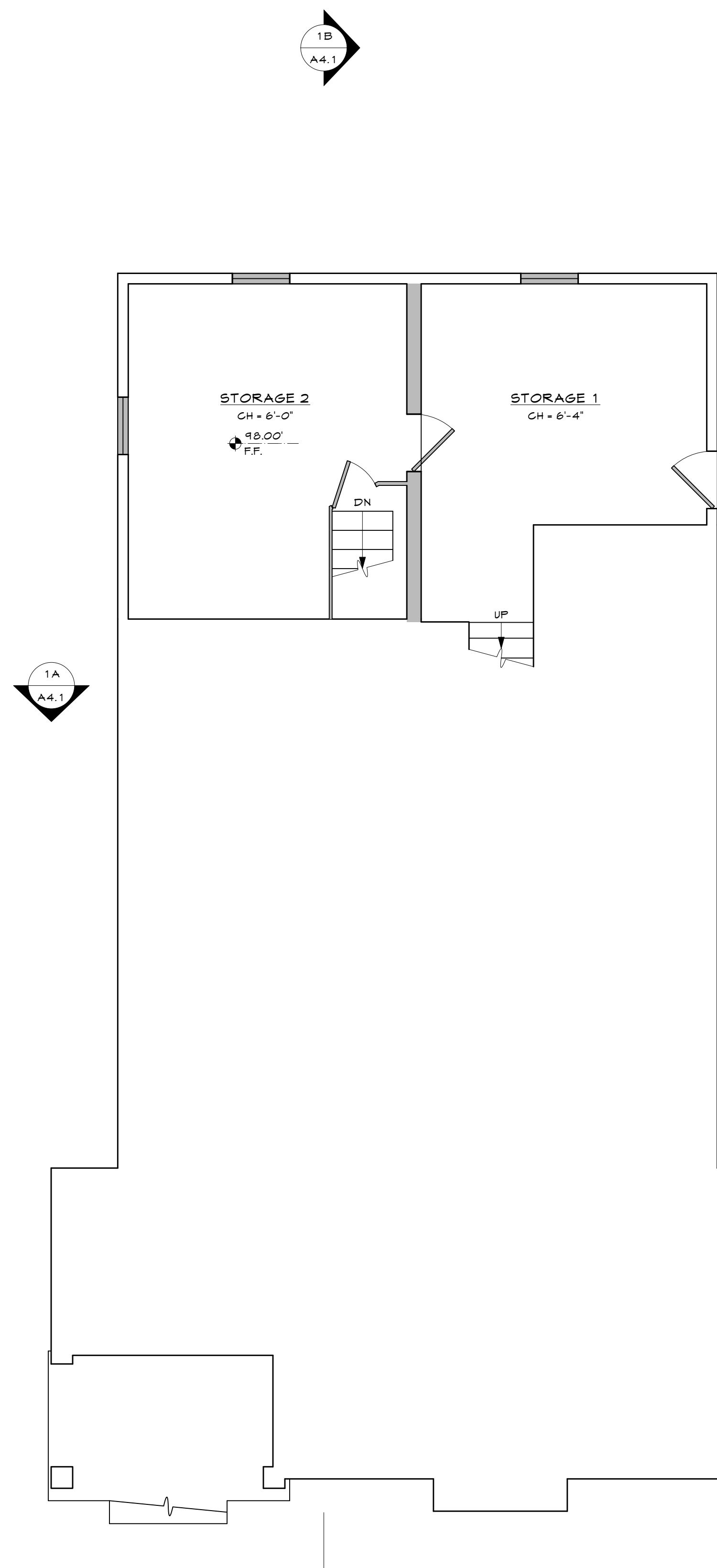
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SCALE

1/4" = 1'-0"

SHEET

A 2.1

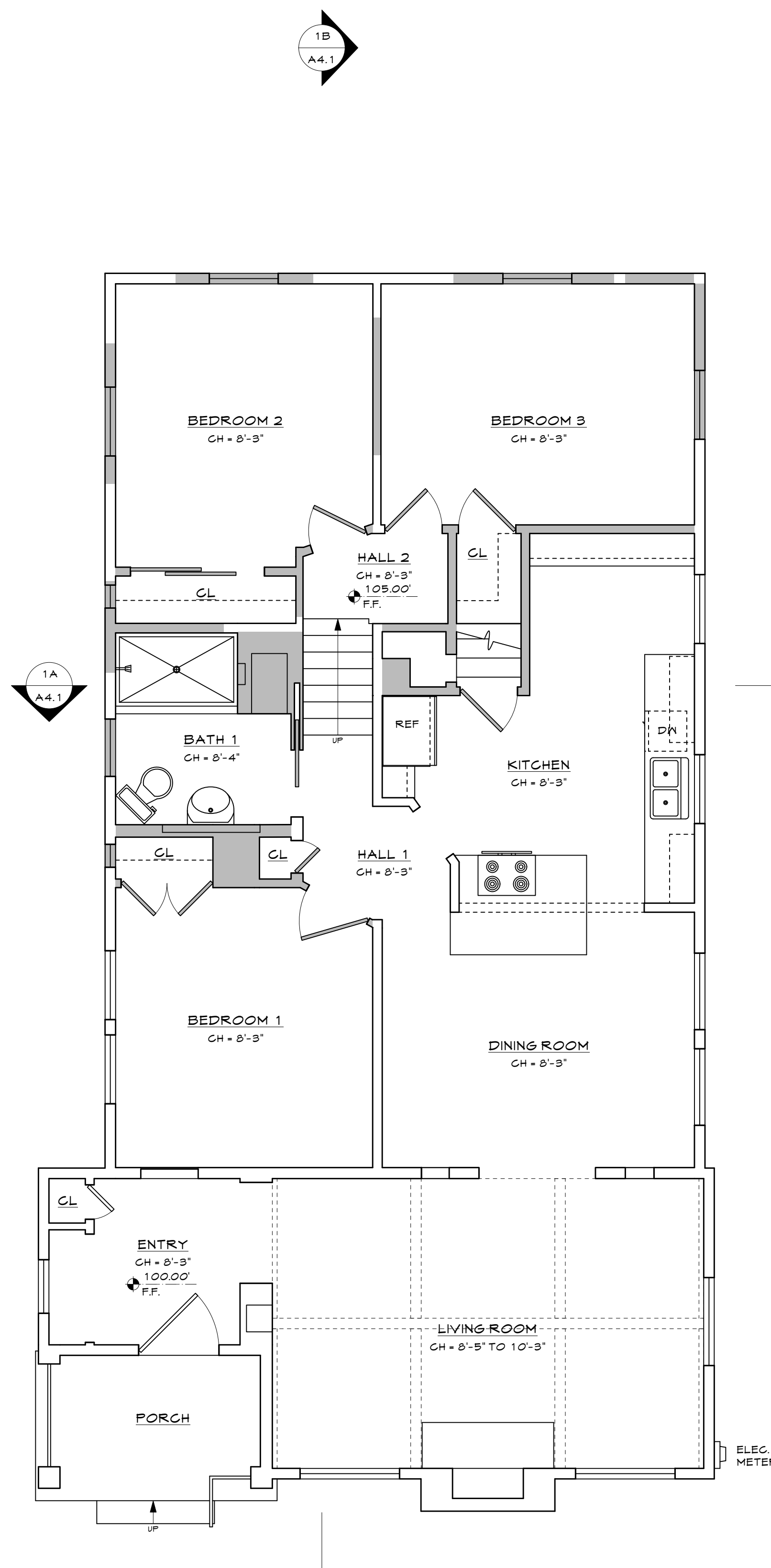


1 LOWER LEVEL FLOOR PLAN - EXISTING CONDITIONS

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

PROJECT
1/4" = 1'-0"

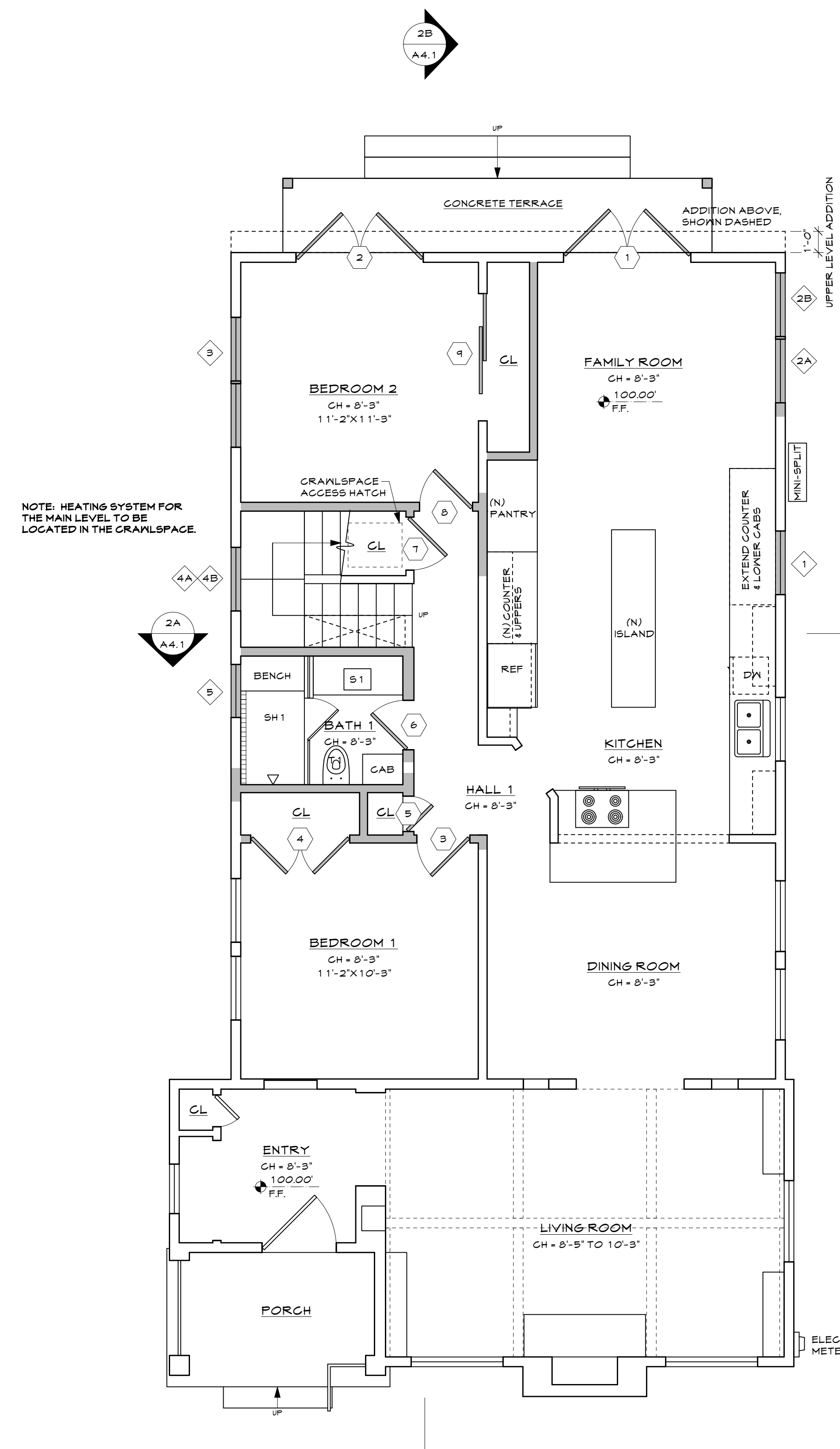


2 MAIN LEVEL FLOOR PLAN - EXISTING CONDITIONS

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

PROJECT
1/4" = 1'-0"



3 MAIN LEVEL FLOOR PLAN - PROPOSED CONDITIONS

EXISTING CONSTRUCTION TO REMAIN

NEW CONSTRUCTION

PROJECT
1/4" = 1'-0"





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CONTENT

FLOOR PLAN

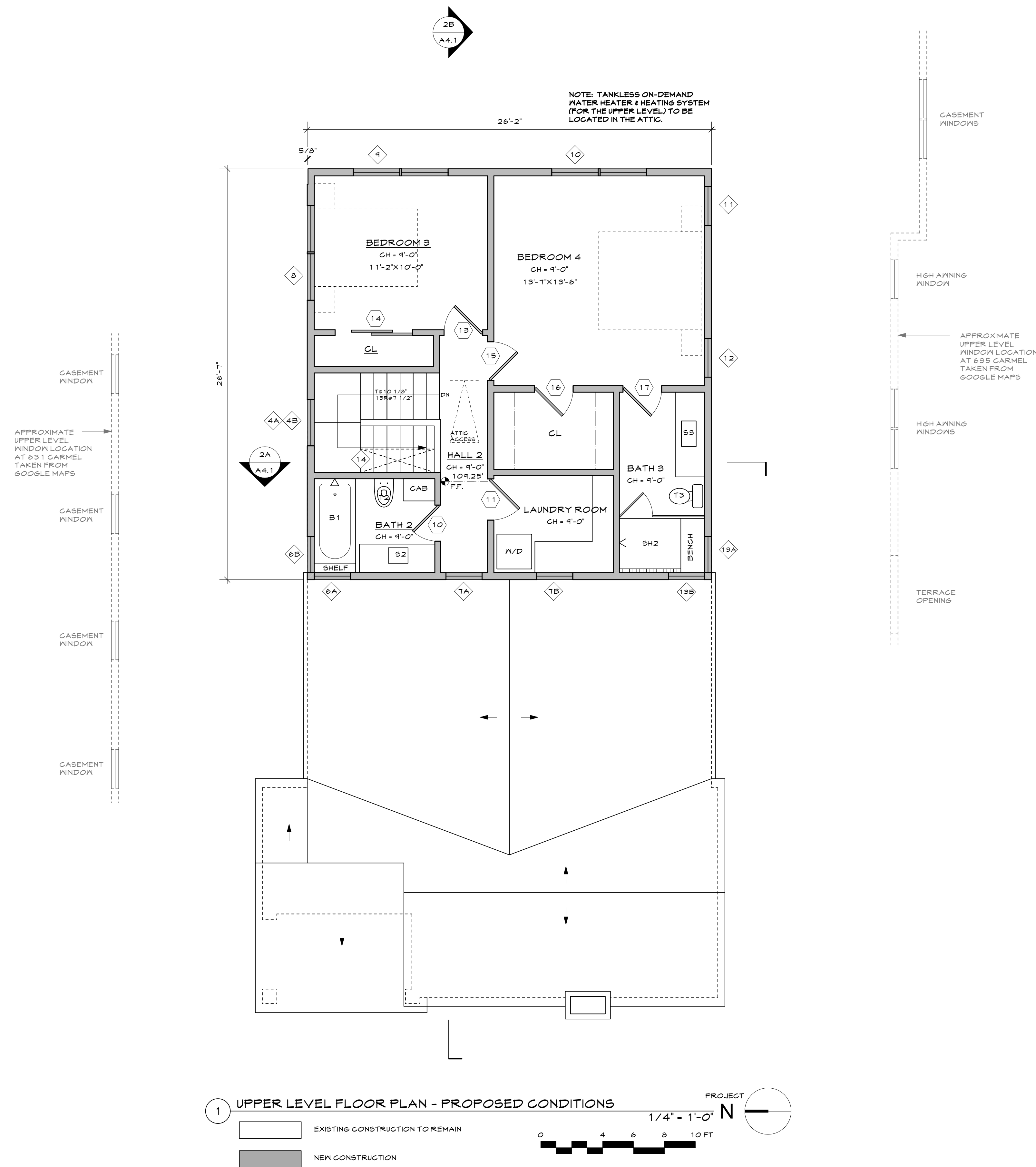
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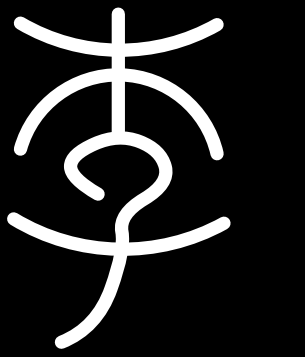
CALE

$$1/4'' = 1'-0''$$

HEET

A 2.2





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FLOOR PLAN

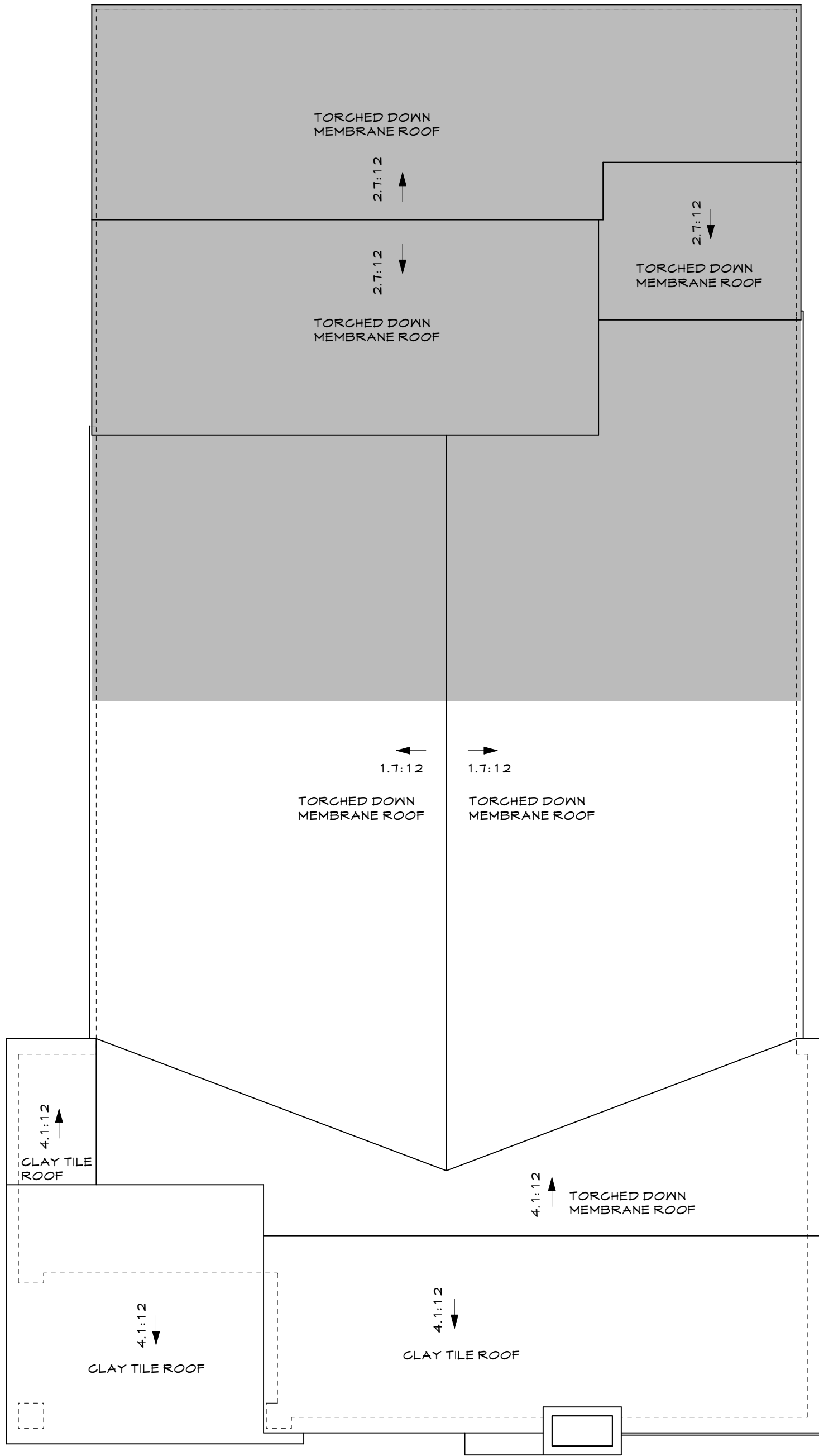
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SCALE

1/4" = 1'-0"

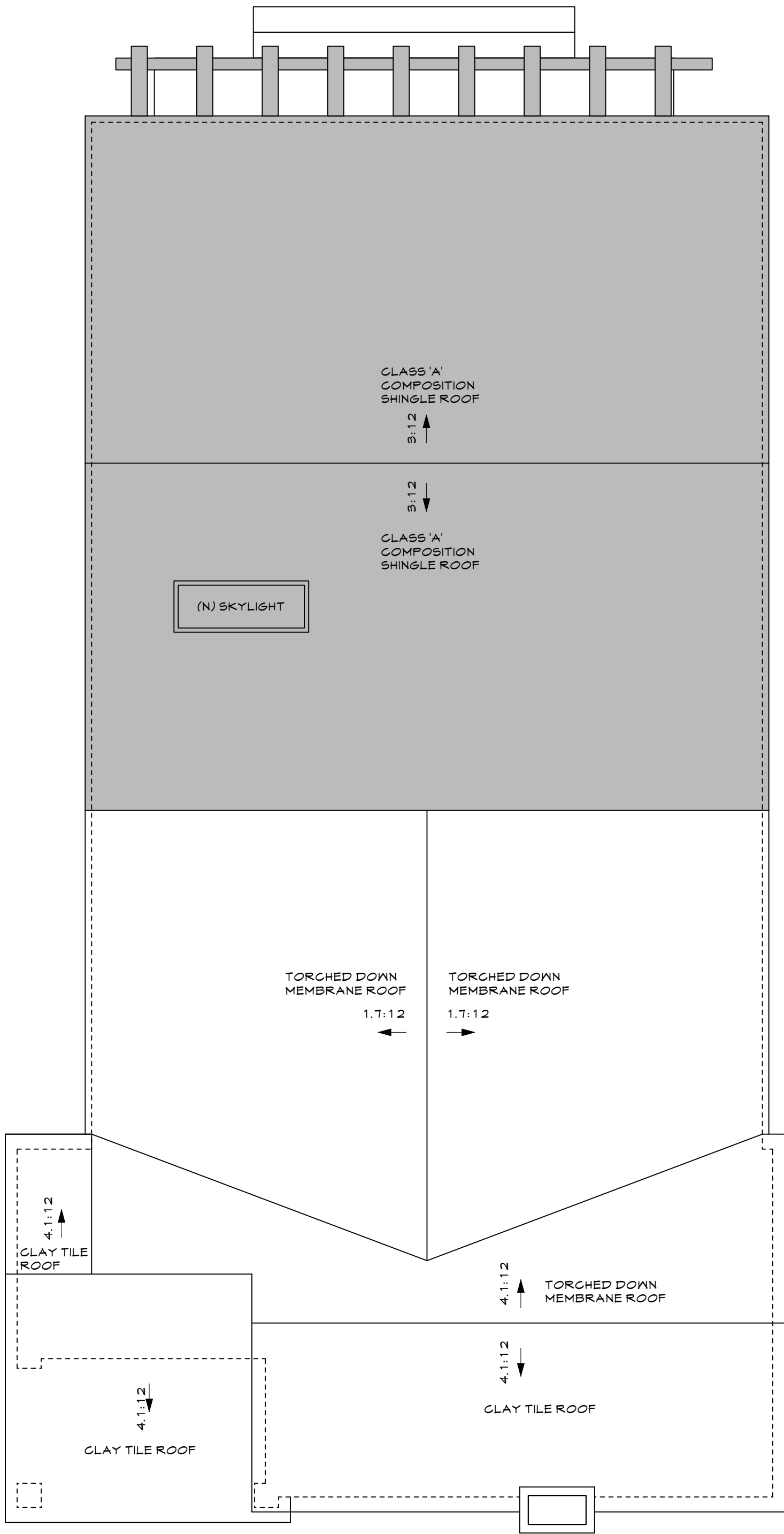
SHEET

A 2.3



1 ROOF PLAN - EXISTING CONDITIONS

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED



2 ROOF PLAN - PROPOSED CONDITIONS

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



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CONTENT

MAIN HOUSE EXTERIOR ELEVATIONS

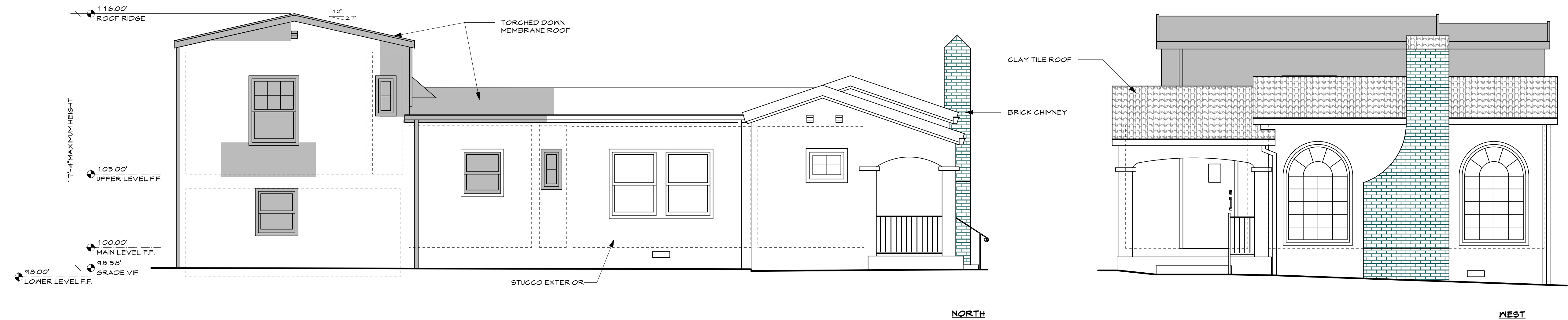
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CALE

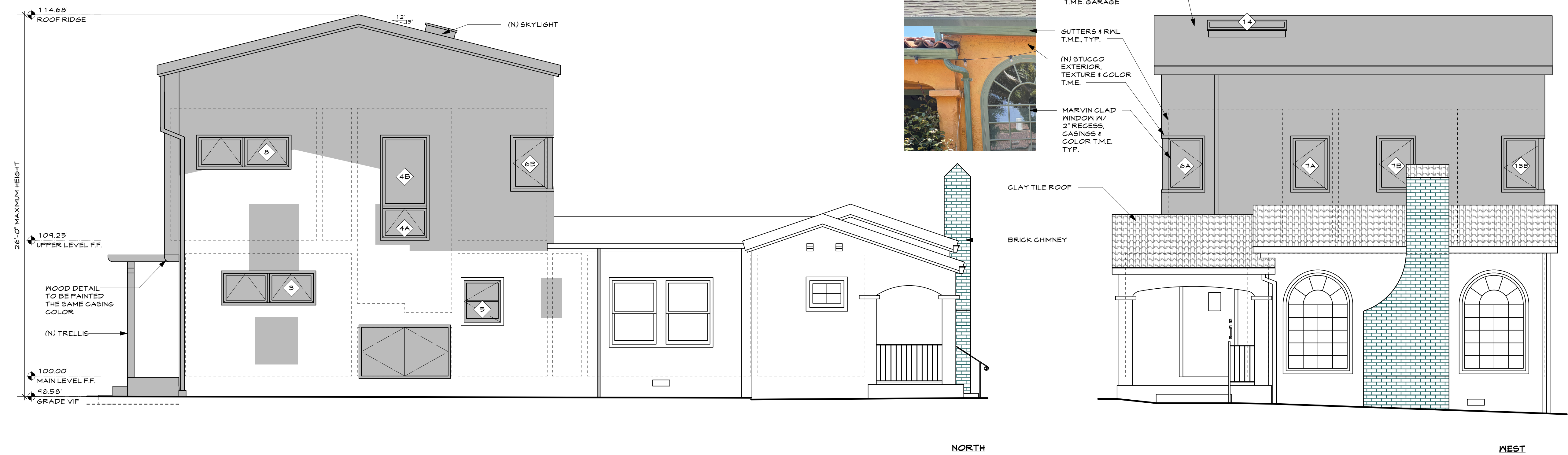
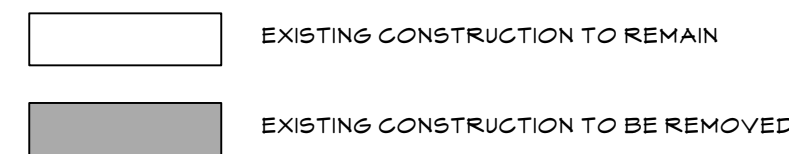
$$1/4'' = 1'-0'$$

HEET

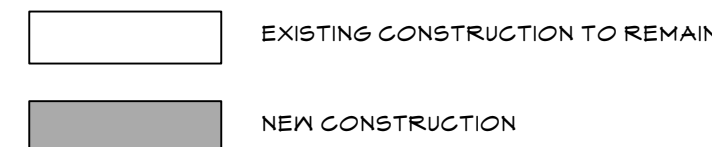
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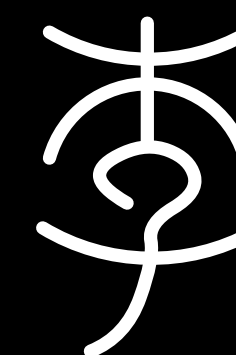


1 EXTERIOR ELEVATIONS - EXISTING CONDITIONS



2 EXTERIOR ELEVATIONS - PROPOSED CONDITIONS

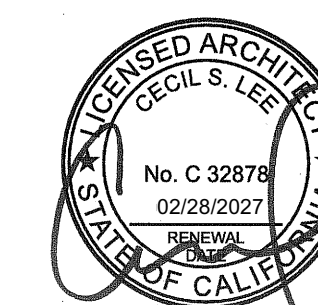

$$\frac{1}{4}'' = 1'-0''$$



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LEUNG/
MAH
ALTERATIONS

633 CARMEL AVENUE
ALBANY, CA 94706

CONTENT

MAIN HOUSE
EXTERIOR
ELEVATIONS

DESCRIPTION	DATE
SCHEMATIC SET	09.05.2024
PRELIM. EST. SET	11.22.2024
DESIGN REVIEW SET	03.05.2025
DESIGN REVIEW SET	04.08.2025
DESIGN REVIEW SET	05.15.2025

SCALE

1/4" = 1'-0"

SHEET

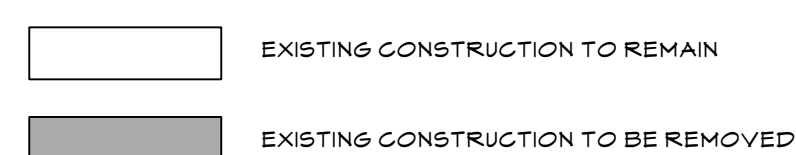
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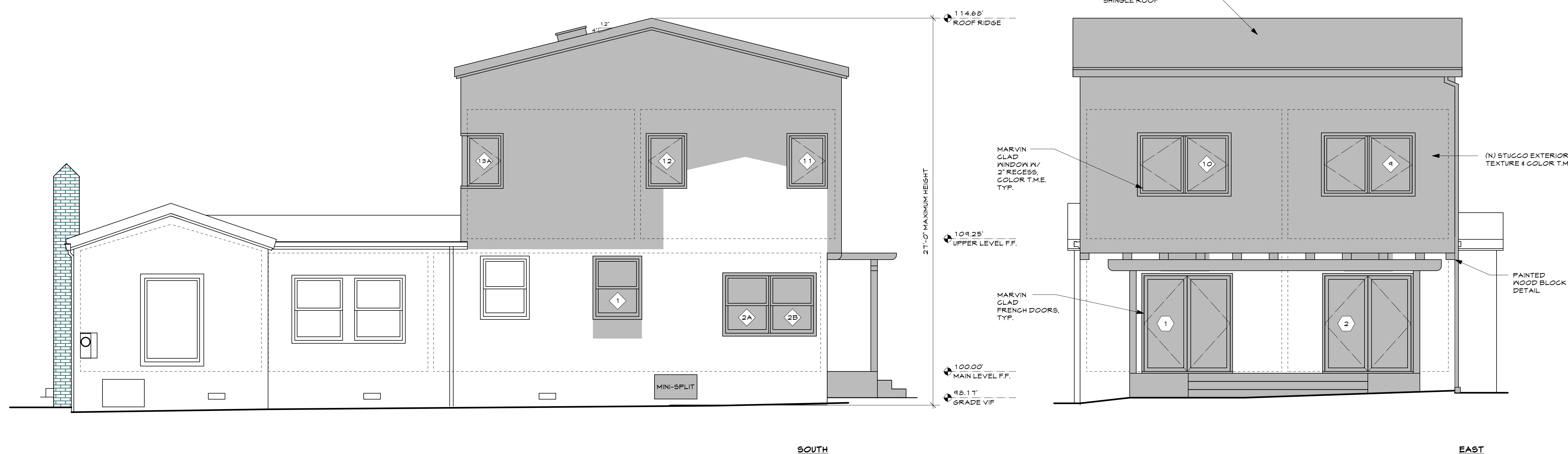
SOUTH

EAST

1 EXTERIOR ELEVATIONS - EXISTING CONDITIONS



1/4" = 1'-0"



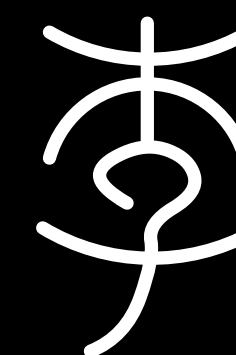
SOUTH

EAST

2 EXTERIOR ELEVATIONS - PROPOSED CONDITIONS



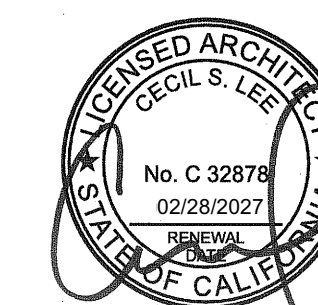
1/4" = 1'-0"



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LEUNG/ MAH ALTERATIONS

633 CARMEL AVENUE
ALBANY, CA 94706

CONTENT

BUILDING SECTIONS

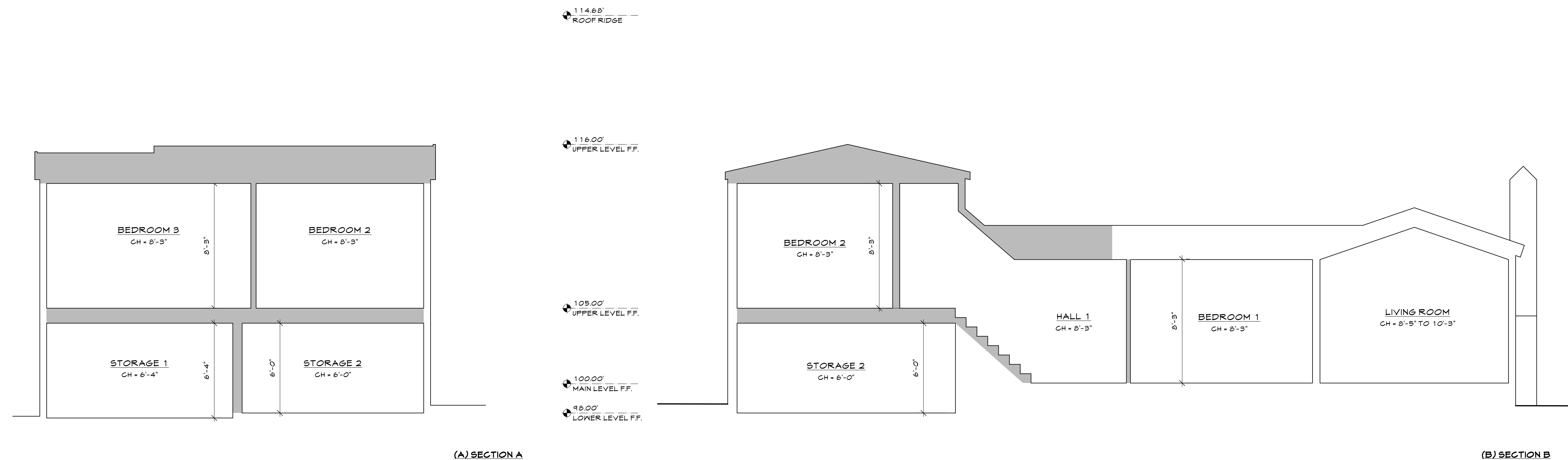
DESCRIPTION	DATE
SCHEMATIC SET	09.05.2024
PRELIM. EST. SET	11.22.2024
DESIGN REVIEW SET	03.05.2025
DESIGN REVIEW SET	04.08.2025
DESIGN REVIEW SET	05.15.2025

SCALE

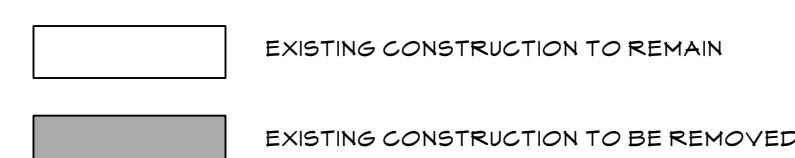
1/4" = 1'-0"

SHEET

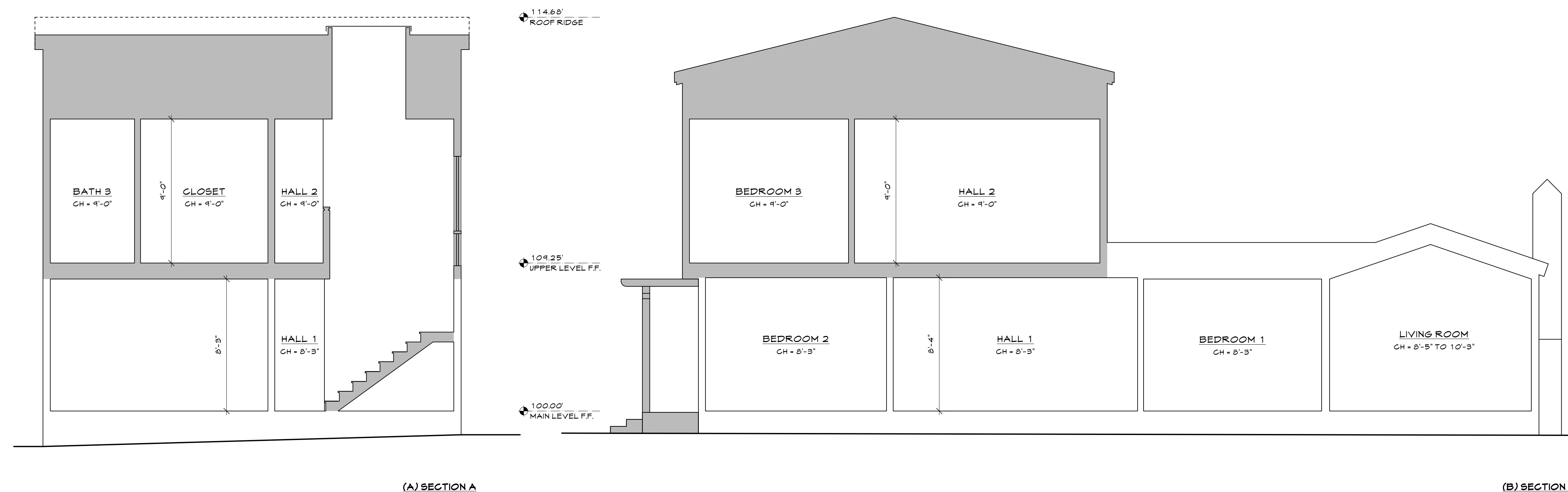
A 4.1



1 MAIN HOUSE BUILDING SECTIONS - EXISTING CONDITIONS



1/4" = 1'-0"



2 MAIN HOUSE BUILDING SECTIONS - PROPOSED CONDITIONS



1/4" = 1'-0"

Finish Schedule - Leung/Mah Main House Alterations

Room	Floor	Baseboard		Wall		Trim		Ceiling		Countertops		Cabinets		Notes
	Mat'l	Mat'l	Fin	Mat'l	Fin	Mat'l	Fin	Mat'l	Fin	Mat'l	Fin	Mat'l	Fin	

Main Level														
Kitchen	Wood TME	Wood	P3	Gyp. Bd.	P4	Wood	P3	Gyp. Bd.	P4	Stone	Polished	Wood	Clear	
Family Room	Wood TME	Wood	P3	Gyp. Bd.	P1	Wood	P3	Gyp. Bd.	P1	-	-	-	-	
Bedroom 1	Wood TME	Wood	P3	Gyp. Bd.	P1	Wood	P3	Gyp. Bd.	P1	-	-	-	-	
Bedroom 2	Wood TME	Wood	P3	Gyp. Bd.	P1	Wood	P3	Gyp. Bd.	P1	-	-	-	-	
Bath 1	Tile	Tile	-	Gyp. Bd.	P4	Wood	P3	Gyp. Bd.	P4	Stone	Polished	Wood	Clear	
Hall 1	Wood TME	Wood	P3	Gyp. Bd.	P1	Wood	P3	Gyp. Bd.	P1	-	-	-	-	
Stairs	Wood TME	Wood	P3	Gyp. Bd.	P1	Wood	P3	Gyp. Bd.	P1	-	-	-	-	
Upper Level														
Bath 2	Tile	Wood	P3	Gyp. Bd./Tile	P4	Wood	P3	Gyp. Bd.	P4	Stone	Polished	Wood	Clear	
Bath 3	Tile	Wood	P3	Gyp. Bd./Tile	P4	Wood	P3	Gyp. Bd.	P4	Stone	Polished	Wood	Clear	
Storage	Wood TME	Wood	P3	Gyp. Bd.	P1	Wood	P3	Gyp. Bd.	P1	-	-	-	-	
Bedroom 3	Wood TME	Wood	P3	Gyp. Bd.	P1	Wood	P3	Gyp. Bd.	P1	-	-	-	-	
P	Wood TME	Wood	P3	Gyp. Bd.	P1	Wood	P3	Gyp. Bd.	P1	-	-	-	-	
Hall 2	Wood TME	Wood	P3	Gyp. Bd.	P1	Wood	P3	Gyp. Bd.	P1	-	-	-	-	

General Notes:

- P1) Interior wall paint, flat
- P2) Interior trim paint, clear finish
- P3) Interior trim, gloss level
- P4) Interior wall paint, kitchen & bath matte finish
- P5) Exterior trim paint, gloss level
- P6) Exterior wall paint, gloss level
- P7) Exterior window clad color
- P8) Exterior door stain color
- TME = To match existing

Door Schedule - Leung/Mah Main House Alteration

Mark	Door Opening		Core/Panel	Thick	Glass			Finish	Hardware	Remarks
	Width	Height			Typ.	Slz	Thick			
1	(2) 3' - 0"	6' - 8"	Glazed	1 3/4"	Clr./T	Dual	Std.	P1/P3	-	Family Room - Marvin Ultimate Door
2	(2) 3' - 0"	6' - 8"	Glazed	1 3/4"	Clr./T	Dual	Std.	P1/P3	-	Bedroom 2 - Marvin Ultimate Door
3	2' - 6"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	A	Bedroom 1
4	(2) 2' - 4"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	D	Bedroom 1 closet
5	1' - 8"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	B	Hall 1 closet
6	2' - 4"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	A	Bath 1
7	2' - 6"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	B	Hall 1 closet
8	2' - 6"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	A	Bedroom 2
9	(2) 3' - 0"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	C	Bedroom 2 closet
10	2' - 4"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	A	Bath 2
11	2' - 8"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	B	Laundry room
12	RESERVED									
13	2' - 6"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	A	Bedroom 3
14	(2) 2' - 6"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	C	Bedroom 3 closet
15	2' - 6"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	A	Bedroom 4
16	2' - 6"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	B	Bedroom 4 closet
17	2' - 6"	6' - 8"	Panel	1 3/8"	-	-	-	P3/P3	A	Bath 3

General Notes:

- Refer to elevations for operation and configuration.
- T = tempered; P3 = Interior trim, gloss level; P5 = Exterior trim paint, gloss level

Hardware Group

- A (Interior Hinged Door - Privacy): Each door to have 2 hinges, 1 privacy latchset, 1 doorstop, 1 wood threshold (if required)
- B (Interior Hinged Door - Passage): Each door to have 2 hinges, 1 passage latchset, 1 doorstop, 1 wood threshold (if required)
- C (Interior Bypass Door): Each door to have 1 bypass track, 1 flush pull, bumpers, 1 wood threshold (if required)
- D (Interior Paired Hinged Closet Doors): Each door to have 2 hinges, 1 dummy latchset, 2 concealed magnetic catch (Precision PLS-24 or equal), 1 wood threshold per pair (if required)

Manufacturer

- Marvin Ultimate Line: Exterior color T.M.E., interior primed, LoE212 Argon, black perimeter bar, oil rubbed bronze hardware, verify all finishes w/ owner

Window Schedule - Leung/Mah Main House Alterations

Mark	Frame Size		Manufacturer	Finish	Opr.	Lite	Glass			U-factor	Fin. Head Ht.	Remarks
	Width	Height					Typ.	Slz	Thick			
1	3' - 0"	4' - 0"	Marvin Line U.O.N.	P1/P1	Double Hung	1/1	Clr.	Dual	Std.	0.30	1' - 10"	Kitchen
2AB	3' - 0"	4' - 0"	Ultimate Line	P1/P1	Double Hung	1/1	Clr.	Dual	Std.	0.30	6' - 8"	Family Room
3	(2) 3' - 0"	2' - 0"	Ultimate Line	P1/P1	Awning	1	Clr./T	Dual	Std.	0.30	1' - 0"	Bedroom 2
4A	3' - 0"	2' - 0"	Ultimate Line	P1/P1	Awning	1	Clr./T	Dual	Std.	0.30	-	Stairs - Mull with 4B
4B	3' - 0"	4' - 6"	Ultimate Line	P1/P1	Fixed	1	Clr./T	Dual	Std.	0.30	11' - 4"	Stairs - Mull with 4A
5	2' - 6"	3' - 0"	Ultimate Line	P1/P1	Casement	1	Clr./T	Dual	Std.	0.30	6' - 8"	Bath 1
6AB	2' - 6"	3' - 6"	Ultimate Line	P1/P1	Casement	1	Clr./T	Dual	Std.	0.30	1' - 0"	Bath 2
7A	2' - 6"	3' - 6"	Ultimate Line	P1/P1	Casement	1	Clr.	Dual	Std.	0.30	1' - 0"	Hall 2
7B	2' - 6"	3' - 6"	Ultimate Line	P1/P1	Casement	1	Clr.	Dual	Std.	0.30	1' - 0"	Laundry Room
8	(2) 3' - 0"	2' - 0"	Ultimate Line	P1/P1	Awning	1	Clr./T	Dual	Std.	0.30	1' - 0"	Bedroom 3
9	(2) 3' - 0"	4' - 0"	Ultimate Line	P1/P1	Casement	1	Clr./T	Dual	Std.	0.30	6' - 8"	Bedroom 3
10	(2) 3' - 0"	4' - 0"	Ultimate Line	P1/P1	Casement	1	Clr./T	Dual	Std.	0.30	6' - 8"	Bedroom 4
11	2' - 6"	3' - 0"	Ultimate Line	P1/P1	Casement	1	Clr.	Dual	Std.	0.30	6' - 8"	Bedroom 4
12	2' - 6"	3' - 0"	Ultimate Line	P1/P1	Casement	1	Clr.	Dual	Std.	0.30	6' - 8"	Bedroom 4
13AB	2' - 6"	3' - 6"	Ultimate Line	P1/P1	Casement	1	Clr./T	Dual	Std.	0.30	1' - 0"	Bath 3
14	2' - 0" VIF	5' - 6" VIF	Custom Skylight	Bronze Anodized	Fixed	1	Clr./T/L	Dual	Std.	0.55	-	Stairs

General Notes:

- Windows to be tempered where required by code.
- T = tempered; L = Laminated; P1 = Window clad color

Manufacturer

- Marvin Ultimate Line: Exterior color T.M.E., interior primed, LoE212 Argon, black perimeter bar, white hardware, screens for operable windows,



1/8" SIMULATED DIVIDED LITE (OGEE STYLE)
w/ SPACER BAR

MARVIN

Ultimate Casement Collection

Unit Features

Ultimate Casement Collection:

- Ultimate Casement (UCA), Ultimate Awning (UAWN), Ultimate Casement Picture (UCAP)
- Ultimate Casement Bows and Bays (UCABB), Ultimate Casement Round Top (UCART)
- Ultimate Push Out Casement (UCAPO), Ultimate Push Out Awning (UAWNPO)
- Ultimate Push Out Casement Picture (UCAPOP), Ultimate Push Out Casement Bows and Bays (UCAPOBB)
- Ultimate French Casement (UCAFR), Ultimate Push Out French Casement (UCAPOFR)
- Ultimate Venting Picture (UCAVP), Ultimate Casement Polygon (UCAPOLY)
- Ultimate Replacement Casement (UCANF), Ultimate Replacement Awning (UAWNNF)
- Ultimate Replacement Casement Picture (UCANFP)
- Ultimate Replacement Push Out Casement (UCANFPO), Ultimate Replacement Push Out Awning (UAWNNFPO)
- Ultimate Replacement Push Out Casement Picture (UCANFPPOP)
- Ultimate Replacement Push Out French Casement (UCANFPOFR)
- Ultimate Replacement Casement Round Top (UCANFRT), Ultimate Replacement Casement Polygon (UCANFPOLY)
- NOTE: Ultimate French Casement, Ultimate Push Out French Casement, Ultimate Venting Picture, Ultimate Replacement Casement Round Top, Ultimate Replacement Casement Polygon, and Ultimate Replacement Push Out French are not available with CE mark.
- Bows and Bays are not available with CE mark from the factory. Bow and Bay kits are available for field mulling.

Frame:

- Frame thickness: 1 3/16" (30)
- Full frame units have a frame base (with pre-drilled installation holes in jambs): is 4 9/16" (116) from backside of nailing fin to interior wood face of frame
- Replacement frame: Units have overall base frame of 3 1/4" (83) jambs
- Frame bevel: Standard is no bevel, optional available are 8 degree bevel and 14 degree bevel

Sash:

- Nominal Sash thickness for full frame:
 - 1 5/8" (41) with 3/4" (19) insulating glass
 - 1 7/8" (48) with 1" (25) insulating glass
- Nominal Sash thickness for replacement frame: 1 5/8" (41) with 3/4" (19) insulating glass
- Slit and Rails 2 3/32" (53) standard
- Optional tall bottom rail 3 9/16" (90) available
- Standard interior wood cope sticking: Ogee
- Optional interior wood cope sticking: Ovolo and Square

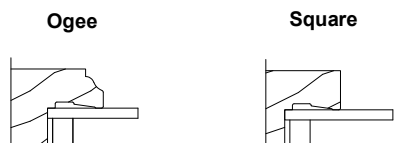
Hardware: - See Individual Product Chapters

Interior Sticking Options:

- Standard interior sticking: Ogee
- Optional interior sticking: Square

Wood Interior Swinging Insect Screens:

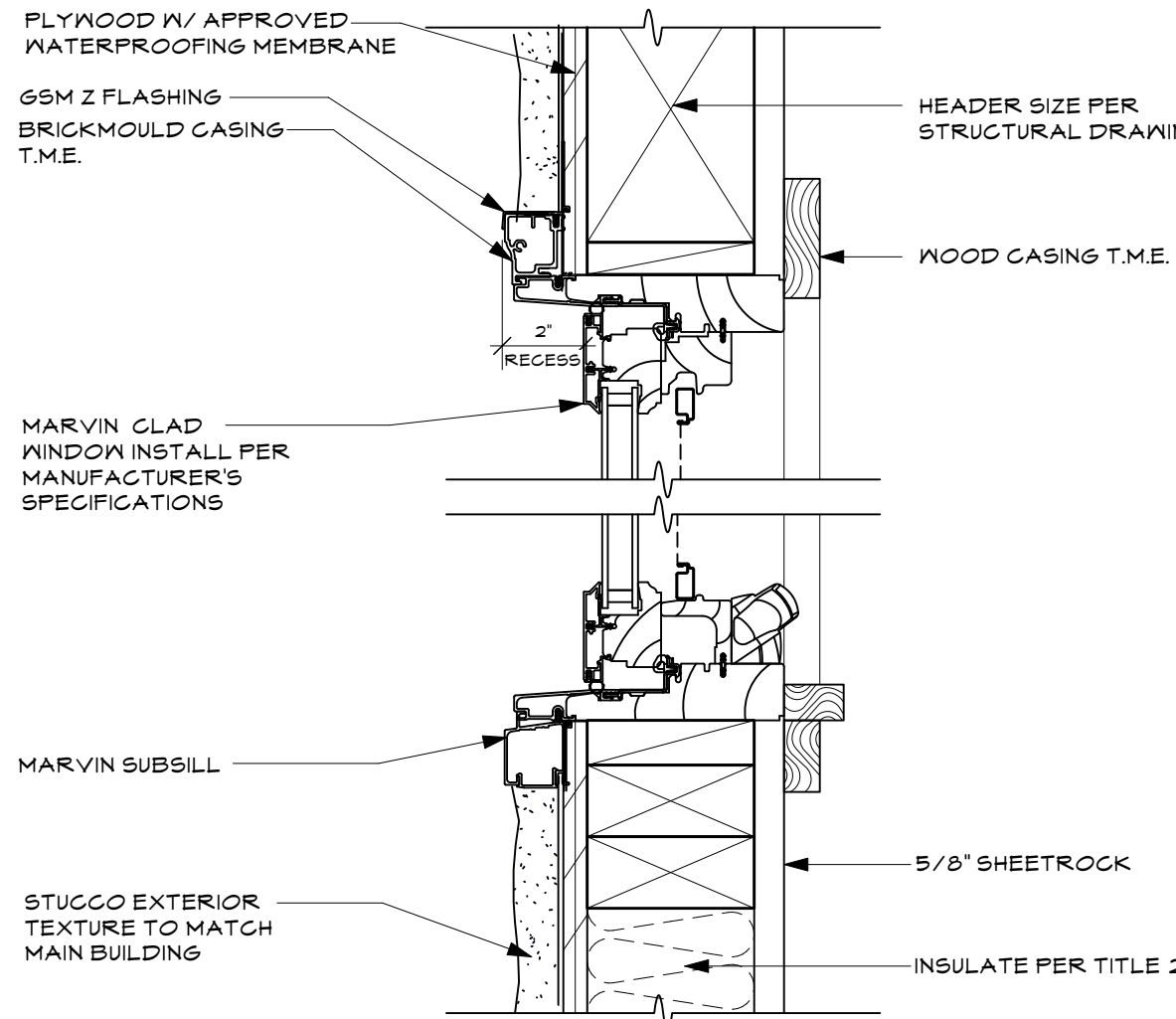
- Wood screen surround: Matches window species
- Screen mesh: Charcoal High Transparency (CH Hi-Tran) fiberglass.
- Ball and Catch latch system used.
- Screen mesh options: Charcoal Fiberglass, Silver Gray Fiberglass, Charcoal Aluminum, Black Aluminum, Bright Aluminum and Bright Bronze.
- Standard Interior Sticking: Ogee
- Optional Interior Sticking: Square



Ver 2019.3 2019-06-24

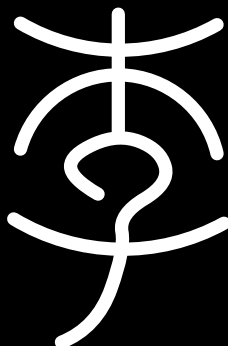
UCA COLL-1

19972255
Marvin Architectural Detail Manual



1 TYPICAL WINDOW DETAIL

3" = 1'-0"



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LEUNG/
MAH
ALTERATIONS

633 CARMEL AVENUE
ALBANY, CA 94706

CONTENT

SCHEDULES

DESCRIPTION	DATE
SCHEMATIC SET	09.05.2024
PRELIM. EST. SET	11.22.2024
DESIGN REVIEW SET	03.05.2025
DESIGN REVIEW SET	04.08.2025
DESIGN REVIEW SET	05.15.2025

SCALE

N/A

SHEET

A 5.1



Tree Protection is required during construction for any existing tree that is in or near the construction area.

- Existing, and/or planned trees should be noted on site plan
- Before any demolition or start to construction, a pre-construction meeting should take place between the construction/demolition supervisor and the City Arborist
- Protect the Critical Root Zone (CRZ) by erecting fencing which protects the tree and root system by keeping out all detrimental construction activity
- A tree protection zone sign shall be posted on the fencing noting that the fence is to remain until construction is complete.
- Care is to be taken not to damage bark, trunk, limbs, branches or foliage while installing fencing
- No building or demo materials, vehicles, dumping or storage of any kind, or excessive foot travel is allowed within the open root zone of any protected tree.
- Trenching, root pruning or tree removal will need to be discussed with City Arborist before taking any action or commencing any demolition.
- If roots are to be exposed through any excavation, sidewalk repair, or any other means, tree roots are to be protected with 4-6" of clean wood chip mulch, and the roots are to be kept watered during the duration of their exposure.
- Any necessary pruning will need to be discussed with the City Arborist. A Certified Arborist will be required for any pruning done on any street tree.
- Damage to trees: Community Development will issue a Stop Work Order until proper measures are taken to repair and remediate any damage done to any street tree due to construction.
- Any damage is to be reported within 6 hours to the City Arborist and/or Community Development.
- Penalties may be imposed for any damage to any street tree



City of Albany



WARNING

TREE PROTECTION ZONE

THIS FENCE AND OTHER
PROTECTIVE MEASURES SHALL
NOT BE ALTERED OR REMOVED.
ACTIVITY RESULTING IN TREE
DAMAGE COULD RESULT IN FINE.

FOR MORE INFORMATION CONTACT:

URBAN FORESTER AT
510-559-4275

LANDSCAPE NOTES:

PROTECTION

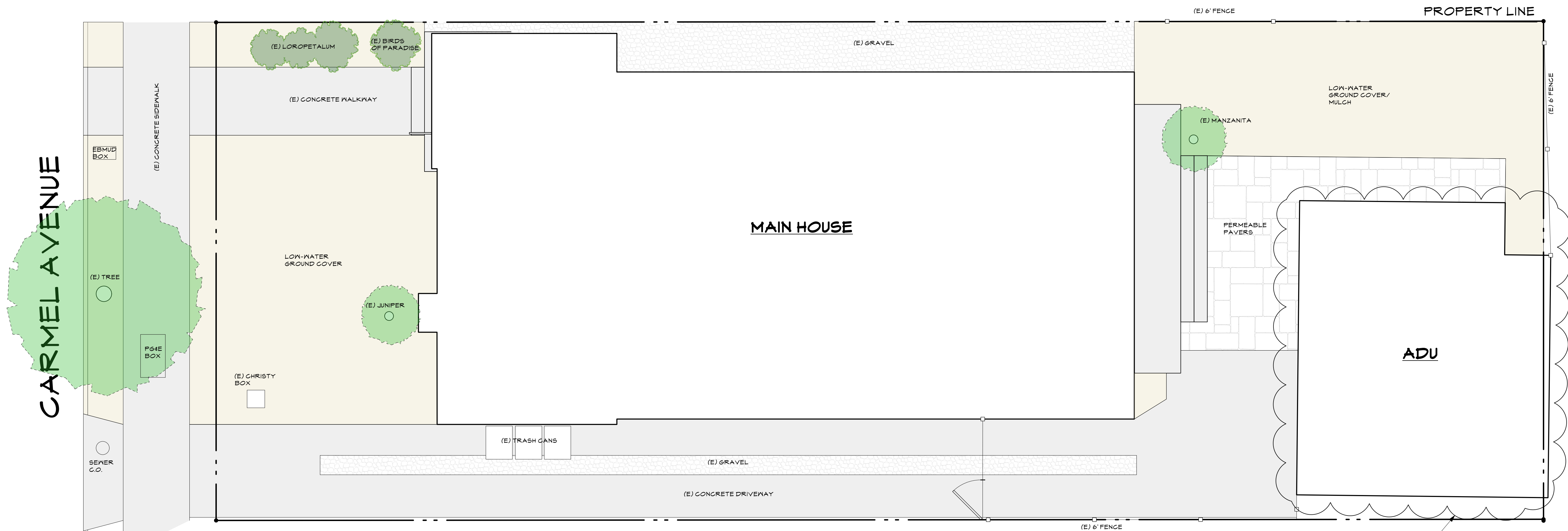
- PROTECT EXISTING FRONT AND REAR YARD FROM CONSTRUCTION ACTIVITIES.
- PROTECT TREE ROOTS FROM COMPACTION. DO NOT STORE MATERIALS UNDER TREE.

GENERAL

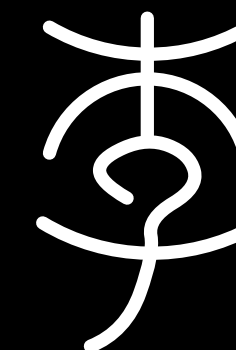
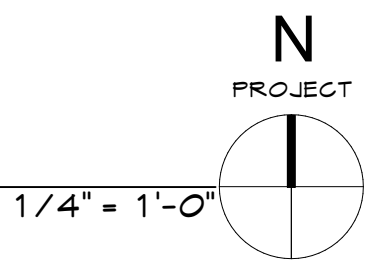
- NO CHANGE TO (E) LANDSCAPE

SITE CLEANUP

- REMOVE ALL SURPLUS MATERIAL AND DEBRIS FROM THE SITE UPON COMPLETION OF THE WORK



1 LANDSCAPE PLAN



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LEUNG/
MAH
ALTERATIONS

633 CARMEL AVENUE
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CONTENT

LANDSCAPE
PLAN

DESCRIPTION	DATE
SCHEMATIC SET	09.05.2024
PRELIM. EST. SET	11.22.2024
DESIGN REVIEW SET	03.05.2025
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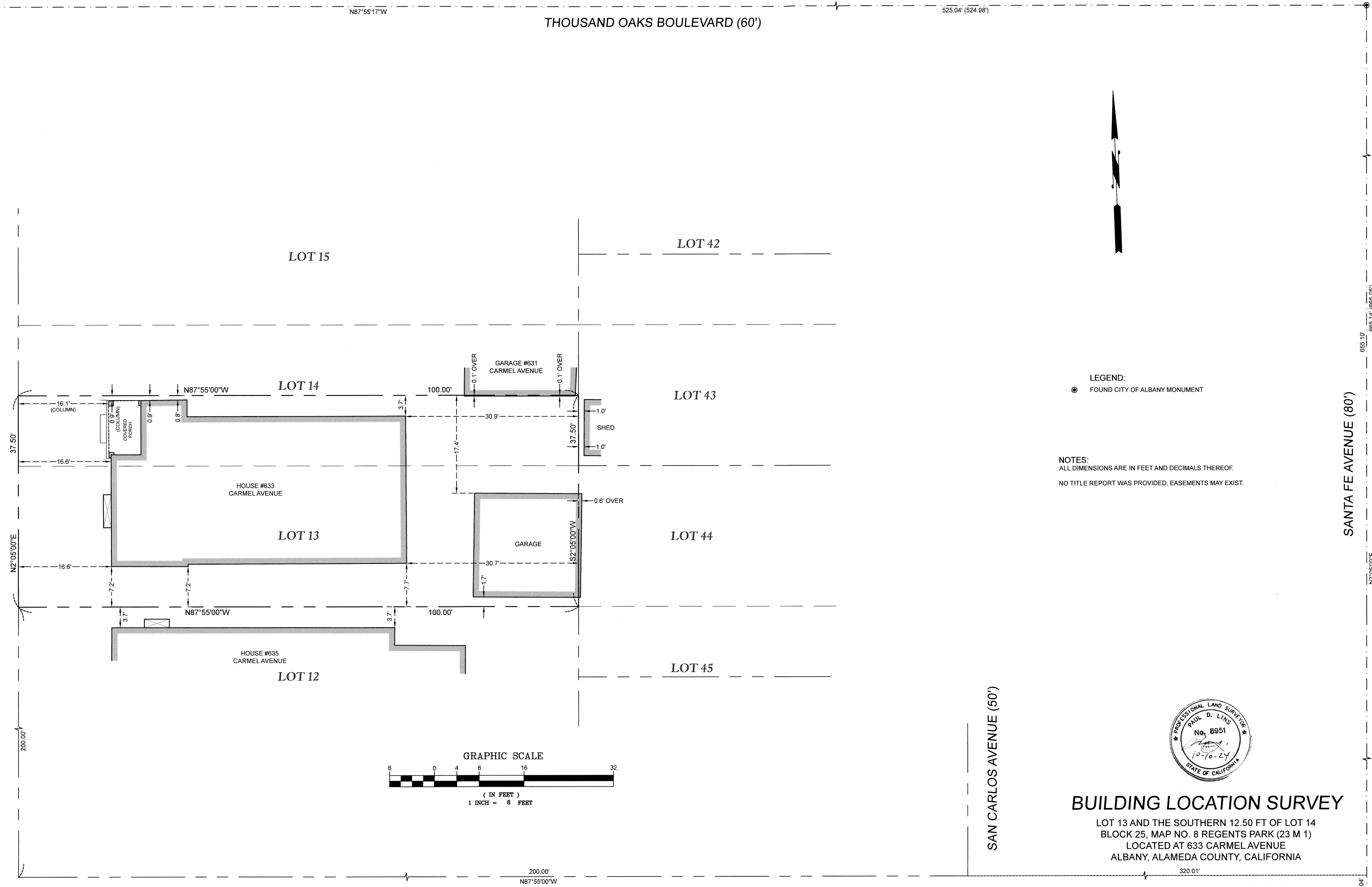
SCALE

1/4" = 1'-0"

SHEET

L1

CARMEL AVENUE (50')



LEGEND:
● FOUND CITY OF ALBANY MONUMENT

NOTES:
ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
NO TITLE REPORT WAS PROVIDED, EASEMENTS MAY EXIST.



BUILDING LOCATION SURVEY

LOT 13 AND THE SOUTHERN 12.50 FT OF LOT 14
BLOCK 25, MAP NO. 8 REGENTS PARK (23 M 1)
LOCATED AT 633 CARMEL AVENUE
ALBANY, ALAMEDA COUNTY, CALIFORNIA

OCTOBER 10, 2024 SCALE: 1" = 8'

MONUMENTAL LAND SURVEYING

171 MAYHEW WAY, SUITE 207, PLEASANT HILL, CA 94523
(925) 300-3695 MONUMENTAL-LS.COM PROJECT#24084