

**NOTE:**

GC TO MAINTAIN ADJOINING STREETS FREE AND CLEAN OF PROJECT DIRT, MUD, MATERIAL AND DEBRIS DURING CONSTRUCTION PERIOD, AND MAINTAIN FIRE TRUCK ACCESS TO OTHER PROPERTIES.

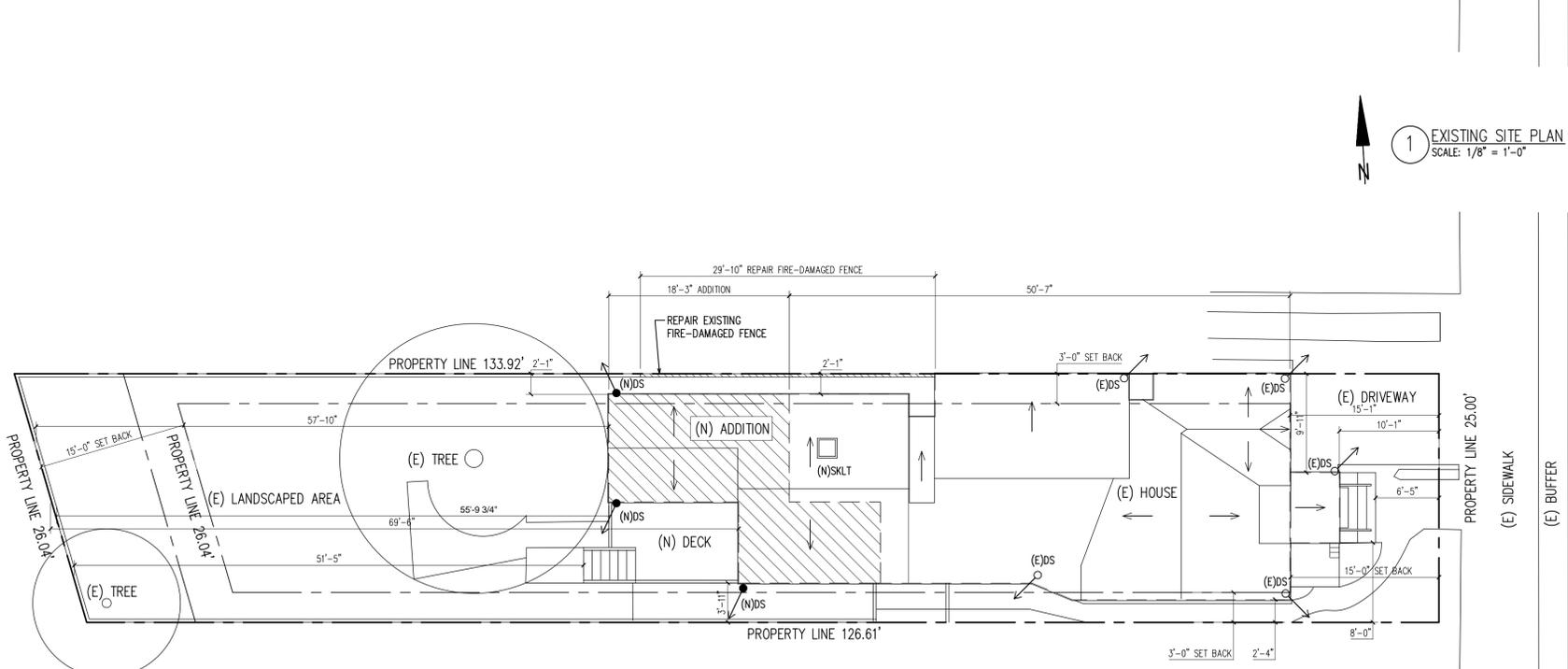
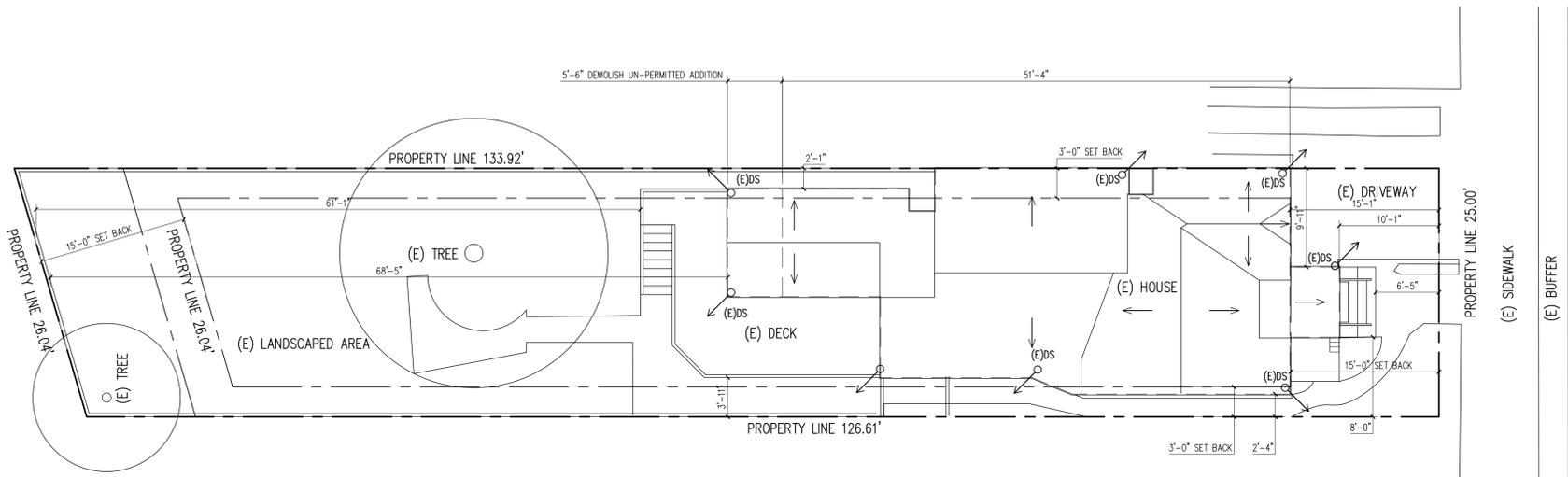
GC TO INSTALL STRAW WATTLE AS NEEDED DURING CONSTRUCTION TO PREVENT RUNOFFS ON ADJACENT SITES, AND PUBLIC RIGHT OF WAY.

(E) DS TO REMAIN, INSTALL (N) SPLASH PAN AS NEEDED.

(N) DS TO CONNECT TO (E) DRAIN SYSTEM W/ 4" PVC AS NEEDED, OR TO STOP ABOVE A SPLASH PAN.

ALL NEW ROOF DRAINAGE WILL BE DIRECTED TO LANDSCAPED AREAS TO THE EXTENT FEASIBLE AND NOT ONTO ADJACENT PROPERTIES.

WHEN NEW FOUNDATIONS ARE NEEDED FOR THE PROJECT, AT THE TIME OF FOUNDATION INSPECTION WHEN REQUIRED BY CITY INSPECTOR OR PART OF PERMITTING APPROVAL REQUIREMENTS, CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, AND DOES NOT ENCRoACH IN THE SETBACK.



**GENERAL SYMBOLS**

	ALL DIMENSIONS
	(E) WALL
	REMOVED WALL
	(N) WALL
	SHEAR WALL

**APPLICABLE CODES & STANDARDS**

CITY / COUNTY CODES AND ORDINANCES  
 CALIFORNIA BUILDING CODE 2022  
 CALIFORNIA RESIDENTIAL CODE 2022  
 CALIFORNIA PLUMBING CODE 2022  
 CALIFORNIA ELECTRICAL CODE 2022  
 CALIFORNIA GREEN BUILDING CODE 2022  
 CALIFORNIA ENERGY CODE 2022  
 CALIFORNIA FIRE CODE 2022  
 2022 EDITION OF THE TITLE 24 STANDARDS

**ARCHITECT:**

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**OWNER:**

MR. ELI MENDIOLA  
 2225 DERRY WAY  
 SOUTH SAN FRANCISCO, CA 94080

**PROJECT DATA**

OCCUPANCY:	R-3 / U
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	NO
STORIES:	1
APN:	67-2833-16-1
FLOOD ZONE:	X
ZONING:	R-1
NET SITE AREA:	3,507 SF

(E) FLOOR:	1,053 SF
(E) GARAGE:	180 SF
(E) ENTRY PORCH:	35 SF
(E) DECK:	246 SF
(E) FOOT PRINT:	1,088 SF
(E) TOTAL CONDITIONED SPACE EXCLUDING 60 SF UN-PERMITTED LAUNDRY ROOM:	993 SF
(E) LOT COVERAGE:	30.84%
(E) FAR:	29.85%
MAX LOT COVERAGE:	%
MAX FAR:	55%
(N) ADDITION:	314 SF
(N) TOTAL CONDITIONED SPACE:	1,304 SF
(N) DECK:	115 SF
(N) TOTAL FOOT PRINT:	1,339 SF
(N) LOT COVERAGE:	38.18%
(N) FAR:	37.18%

**SCOPE OF WORK**

- REMOVE UN-PERMITTED ADDITION
- NEW 314 SF ADDITION TO BACK BEDROOM WITH A NEW BATHROOM
- NEW 4TH BEDROOM
- NEW 115 SF DECK
- NO CHANGE TO LANDSCAPING
- NO CHANGE TO PARKING
- NO CHANGE TO IMPERVIOUS AREA
- NO CHANGE TO DRAINAGE

**SHEET INDEX**

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VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

**CONTRACTOR'S NOTES:**

- CONTRACTOR SHALL BE FULLY INSURED AND LICENSED IN THE STATE WHERE WORK IS TAKING PLACE.
- THE CONTRACTOR SHALL NOT ORDER MATERIALS NOR SCHEDULE THE WORK UNTIL ALL PLAN DIMENSIONS, SPECIFICATIONS, NOTES, HAVE BEEN VERIFIED IN FIELD.
- DRAWINGS, SHOP DRAWINGS AND EXISTING CONDITIONS ARE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. THE GC SHALL INFORM THE ARCHITECT OF ANY CONFLICTS IN WRITING BEFORE CONSTRUCTION COMMENCES. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS BEST AS PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY.
- IT IS THE RESPONSIBILITY OF THE GC TO NOTIFY THE OWNER AND THE ARCHITECT OF RECORD OF ANY CONDITION FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS OR SHOP DRAWINGS AND OF NOTED CONFLICTS FOUND ON THE PLANS OR SHOW ON DRAWINGS THAT MAY AFFECT THE COMPLETION OF THE PROJECT, BEFORE SUCH WORK COMMENCES.

- THE GC SHALL REVIEW AND COMPARE THE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, PLUMBING, MECHANICAL, CIVIL, AND ELECTRICAL DRAWINGS, AS PROVIDED IN PERMIT SET.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO POURING CONCRETE; ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT OF RECORD BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING AND NEW PROPERTIES OF THE OWNER OR ADJOINING PROPERTIES. THE CONTRACTOR SHALL NOT UNDERMINE FOUNDATIONS WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PROGRAMS AND PROCEDURES DURING CONSTRUCTION, INCLUDED BUT NOT LIMITED TO POLLUTION PREVENTION PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND IMPLEMENT SHORING SYSTEM PRIOR TO THE

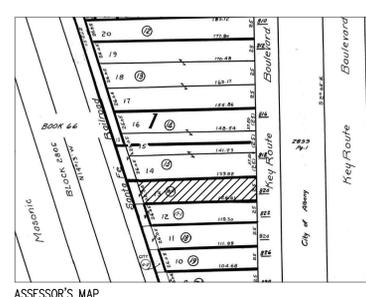
**BEGINNING OF CONSTRUCTION.**

- WHEN A CONFLICT EXISTS ON THE PLANS AND SPECIFICATIONS, DETAIL NOTES AND DRAWINGS SHALL GOVERN AND WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED MEASUREMENTS.
- UNLESS SHOWN OTHERWISE, DETAILS SHOWN ON TYPICAL DETAIL SHEETS SHALL BE USED WHEREVER APPLICABLE. SPECIFIC DETAILS ON THE STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER TYPICAL ARCHITECTURAL DETAILS. SPECIFIC NOTES ON STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER NOTES SHOWN IN GENERAL NOTES.
- MANUFACTURERS' NOTES AND SPECIFICATIONS SHALL APPLY WHEN PER CODE.
- DO NOT SCALE DRAWINGS.
- GC IS RESPONSIBLE FOR LOCATING AND AVOIDING UTILITIES. CALL USA NORTH AT 1-800-227-2600.
- VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.
- THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSTRUED AS A GUARANTEE THAT ALL OF CODE

REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR INSURING THAT THE FINISHED BUILT COMPLIES WITH ALL LOCAL, STATES AND FEDERAL REGULATIONS, LAWS AND CODE REQUIREMENTS.

- WHEN MANUFACTURED ROOF TRUSSES ARE INSTALLED, GC TO PROVIDE TRUSSES CALCS SIGNED BY LICENSE PROFESSIONAL FOR APPROVAL BY CITY OR COUNTY. CALC TO BE REVIEWED AND APPROVED BY ENGINEER OF RECORD PRIOR TO BE SUBMITTED TO THE BUILDING OFFICIAL.
- THE CITY/COUNTY BUILDING OFFICIAL AND/OR FIRE MARSHALL WILL REVIEW THE SCOPE OF WORK AND DETERMINE IF THE EXISTING BUILDING WILL NEED TO BE REQUITED TO BE RETROFITTED WITH FIRE SUPPRESSION SPRINKLERS. GC TO CONTACT FIRE DEPARTMENT FOR VERIFICATION, AND UPGRADE WATER METER, LINES AS NECESSARY. IF REQUIRED, FIRE SPRINKLER SYSTEM TO BE ON DEFERRED PERMIT AND SUBMITTED BY THE GC.
- GC TO READ, BE FAMILIAR AND FOLLOW ALL STANDARD PROVISIONS, CONSTRUCTION GUIDE LINES AND REQUIREMENTS OF LISTED, CURRENTLY APPLICABLE CODES AND ORDINANCE.

820 KEY ROUTE BLVD, ALBANY, CA 94706



**NOTES:**

- ALL PERMITS EXCEEDING \$10,000.00 IN VALUATION SHALL REQUIRE INSTALLATION OF APPROVED SMOKE AND CARBON MONOXIDE DETECTORS WITHIN THE DWELLING.
- ALL PERMITS EXCEEDING \$10,000.00 IN VALUATION SHALL REQUIRE THE INSTALLATION OF AN APPROVED AUTOMATIC GAS SHUT-OFF DEVICE ON THE CUSTOMER OWNED PIPING AT THE UTILITY METER.
- WF & INSTALL A MOTION SENSITIVE AUTOMATIC GAS SHUTOFF VALVE ON GAS METER WHEN REQUIRED.
- BUILDING ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES IN HEIGHT OR 3 INCHES IN HEIGHT AND SELF-ILLUMINATED.
- CARBON MONOXIDE ALARM AND DETECTOR SHALL BE INSTALLED IN ACCORDANCE W/ THE MANUFACTURER'S INSTRUCTIONS, NFPA 720 INSTALLATION STANDARDS AND CRC.
- ALL SMOKE ALARMS SHALL BE 110V CONNECTED TO THE BUILDING WIRING (W/ BATTERY BACKUP INCLUDING LOW BATTERY WARNING FEATURE)
- ALL SMOKE ALARMS TO BE INTERCONNECTED.

**REVISIONS**

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ADDITION/ REMODEL  
 820 KEY RTE BLVD,  
 ALBANY, CA 94706

SITE PLAN  
 PROJECT DATA

DRAWN BY  
**CA008**  
 CHECKED BY  
**CA000**  
 ISSUE DATE  
**05/28/2025**  
 SCALE  
**1/8"=1'-0"**  
 ANURA JOB NO  
**CA2502-0007**  
 SHEET

# TOPOGRAPHIC SURVEY

820 KEY ROUTE BLVD, ALBANY, CA 94706  
ASSESSORS PARCEL NUMBER 67-2833-16-1

JUNE, 2025  
Project No. 25-050

## PROPERTY LEGAL DESCRIPTION

REAL PROPERTY CONVEYED TO ENRIQUE DE LA CAMPA AND SOLANGE DE LA CAMPA AS DOCUMENT NO. 2025019889 DATED FEBRUARY 10, 2025 IN THE OFFICE OF THE COUNTY RECORDER, ALAMEDA COUNTY, STATE OF CALIFORNIA.

## TITLE REPORT SCHEDULE BII ITEMS:

THIS SURVEY WAS CONDUCTED UTILIZING CLOSING DOCUMENTS PROVIDED BY THE CLIENT, ALONG WITH A TITLE REPORT FROM WFG NATIONAL TITLE INSURANCE COMPANY, ESCROW NO. 24-221757, DATED DECEMBER 12, 2024, AND IT REVEALED NO PLOTTABLE EASEMENTS.

## BASIS OF BEARINGS

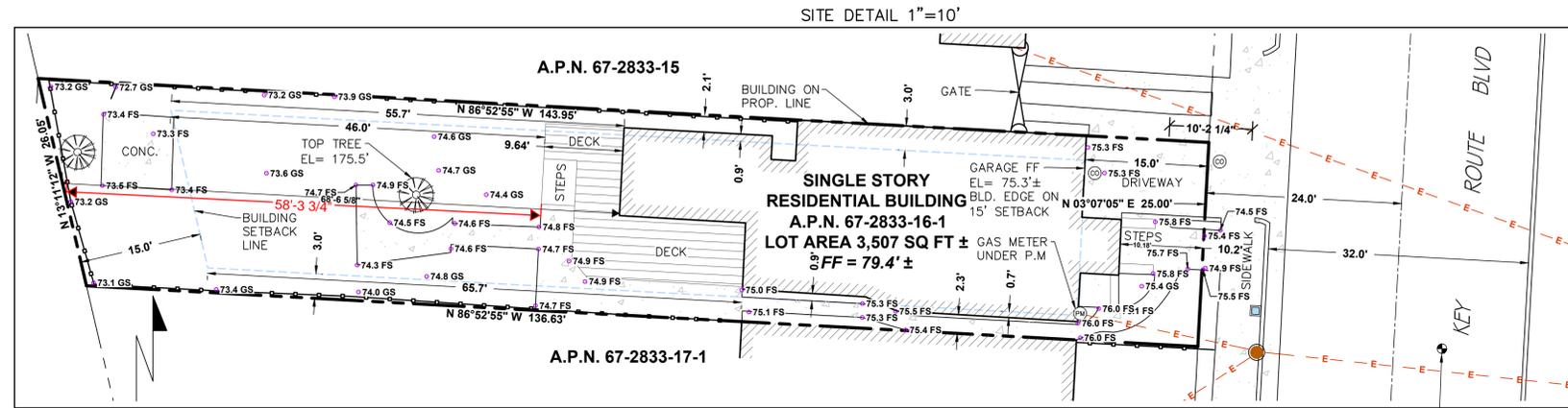
THE BASIS OF BEARINGS HEREON WERE ESTABLISHED USING NAD83, CALIFORNIA STATE PLANE ZONE 3, AS DETERMINED FROM GNSS OBSERVATIONS COLLECTED VIA THE REAL-TIME KINEMATIC GNSS NETWORK "HEXAGON SMARTNET".

## BENCHMARK

PROJECT ELEVATIONS WERE DETERMINED USING ORTHOMETRIC HEIGHTS DERIVED FROM GNSS, CALCULATED BY APPLYING "GEOID 18" MODELED SEPARATIONS TO ELLIPSOID HEIGHTS OBTAINED FROM REAL-TIME KINEMATIC (RTK) GNSS DATA PROCESSED VIA THE "HEXAGON SMARTNET" GNSS NETWORK. ALL ELEVATIONS PRESENTED HERE ARE REFERENCED TO NAVD83

## GENERAL NOTES

1. SURVEYOR DID NOT ABSTRACT PROPERTY.
2. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
3. THE PREPARER DID NOT PERFORM NOR HAS THE PREPARER ACCEPTED ANY RESPONSIBILITY TO PERFORM ADDITIONAL RECORDS RESEARCH.
4. VISIBLE ABOVE GROUND UTILITIES ARE SHOWN HEREON. UNDERGROUND LOCATES WERE NOT PERFORMED AS PART OF THE SCOPE OF THIS SURVEY.
5. ASSESSORS PARCEL INFORMATION HEREON IS PER THE COUNTY PARCEL VIEWER.
6. LIMITS OF LIABILITY ARE NOT TO EXCEED THE LUMP SUM BID OF THIS SURVEY.
7. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.



## NOTE 1 (FOR ARCHITECT AND CONTRACTOR)

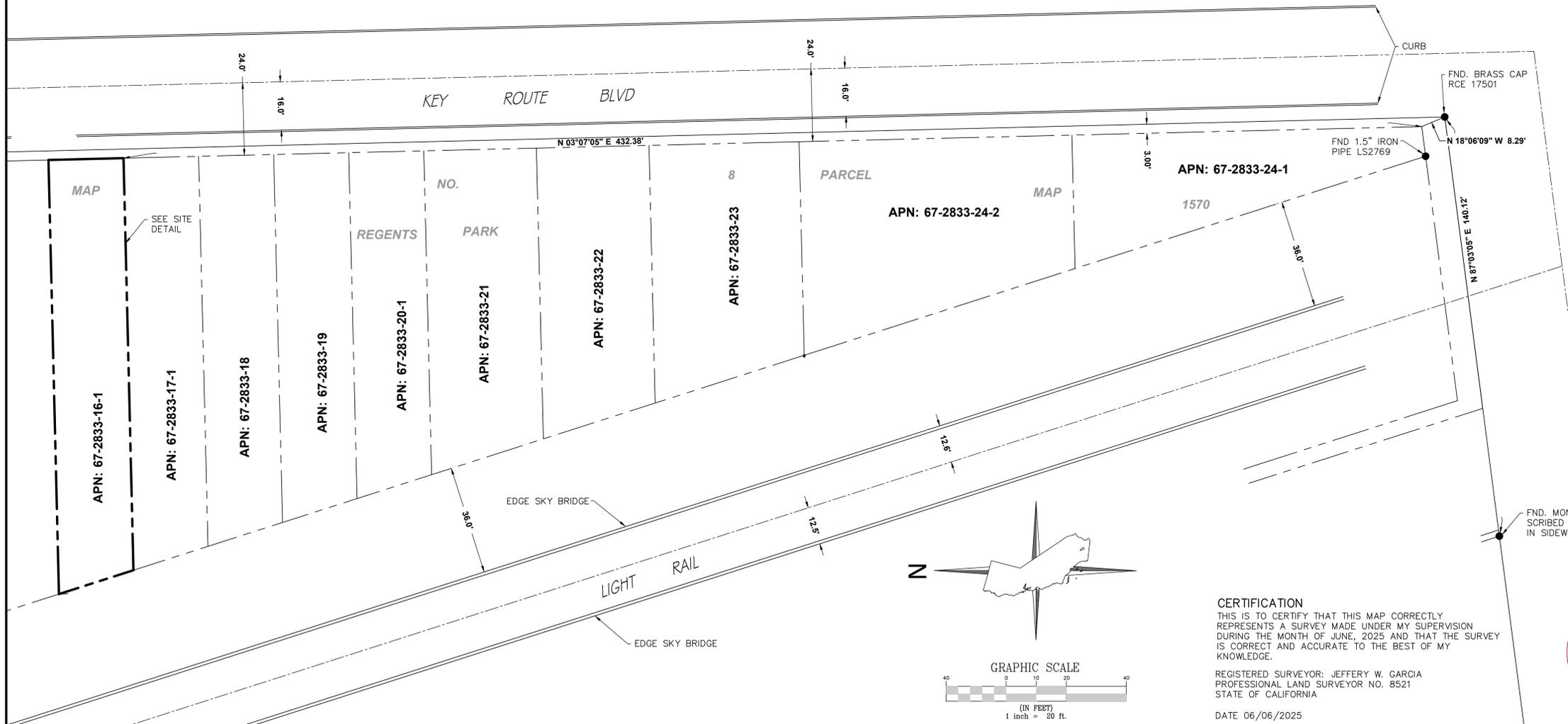
THIS TOPOGRAPHIC SURVEY WAS PREPARED SOLELY FOR THE PURPOSE OF DESIGNING AND SITING A BACKYARD ACCESSORY DWELLING UNIT (ADU). DUE TO THE HISTORIC NATURE OF THIS SUBDIVISION, ESTABLISHED IN 1907, AND THE LOSS OF MOST ORIGINAL SURVEY MONUMENTS, THE DATA PRESENTED REFLECTS THE BEST AVAILABLE EVIDENCE. IT IS STRONGLY RECOMMENDED THAT THE ARCHITECT AND CONTRACTOR ENGAGE A LICENSED LAND SURVEYOR TO PERFORM CONSTRUCTION STAKING PRIOR TO CONSTRUCTING CONCRETE FORMS AND TO OBTAIN A SETBACK CERTIFICATION AFTER FORM CONSTRUCTION BUT BEFORE POURING CONCRETE. FAILURE TO DO SO RELEASES CHINOOK SURVEYS OF ANY AND ALL LIABILITY RELATED TO SETBACK COMPLIANCE, CONSTRUCTION ACCURACY, OR SUBSEQUENT DISPUTES.

## NOTE 2 (BOUNDARY AND MONUMENT DISCLAIMER)

THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY. NO SURVEY MONUMENTS WILL BE SET, AND NO RECORD OF SURVEY WILL BE RECORDED WITH THE COUNTY. BOUNDARY LINES DEPICTED HEREIN ARE BASED ON THE BEST AVAILABLE EVIDENCE, INCLUDING TWO SURVIVING CUT CROSSES ALONG SOLANO AVENUE (FORMERLY MAIN STREET), USED AS A BASIS FOR ROTATION, AND AN ALIGNMENT ADJUSTED TO MATCH CURB SPLITS ALONG KEY ROUTE BOULEVARD. THIS INTERPRETATION IS CONSISTENT WITH PARCEL MAP NO. 1570, DATED 1970, THE LATEST RECORDED MAP, WITH NO SUBSEQUENT SURVEYS FOUND. MOST HISTORIC CUT CROSSES, EXCEPT THOSE NOTED, HAVE BEEN LOST. THE BOUNDARY ALIGNMENT ALSO PARALLELS THE EXISTING LIGHT RAIL SKY BRIDGE AND CURB SPLITS ALONG KEY ROUTE BOULEVARD. NOTE THAT RIGHT-OF-WAY WIDTHS IN THIS AREA HAVE CHANGED OVER TIME; THE RIGHT-OF-WAY AND SUBJECT PROPERTY LINE ALONG KEY ROUTE BOULEVARD ARE ESTIMATED AT 24 FEET FROM CENTERLINE, DERIVED FROM CURB SPLITS AND THE ORIENTATION OF THE TWO REMAINING CUT CROSSES ON SOLANO AVENUE. THIS SURVEY REFLECTS THE BEST AVAILABLE EVIDENCE.

## LEGEND

	CENTERLINE
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	MONUMENT OFFSET LINE
	FENCE
	OVERHEAD POWER
	BUILDING SETBACK LINE
	FOUND MONUMENT
	POWER METER
	SEWER CLEANOUT
	MAIL BOX
	WATER METER
	TEMPORARY SITE BENCHMARK
	POWER POLE
	TREE
	CONCRETE
	FINISH SURFACE
	GROUND SHOT
	POWER METER
	PROPERTY



## CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF JUNE, 2025 AND THAT THE SURVEY IS CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

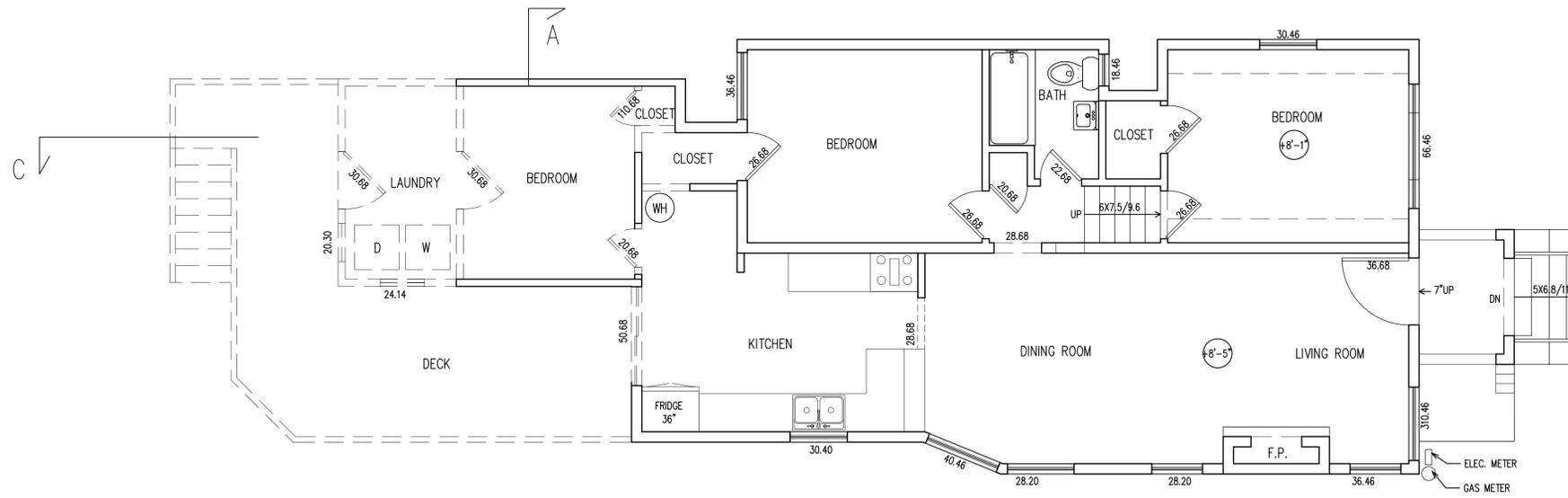
REGISTERED SURVEYOR: JEFFERY W. GARCIA  
PROFESSIONAL LAND SURVEYOR NO. 8521  
STATE OF CALIFORNIA

DATE 06/06/2025

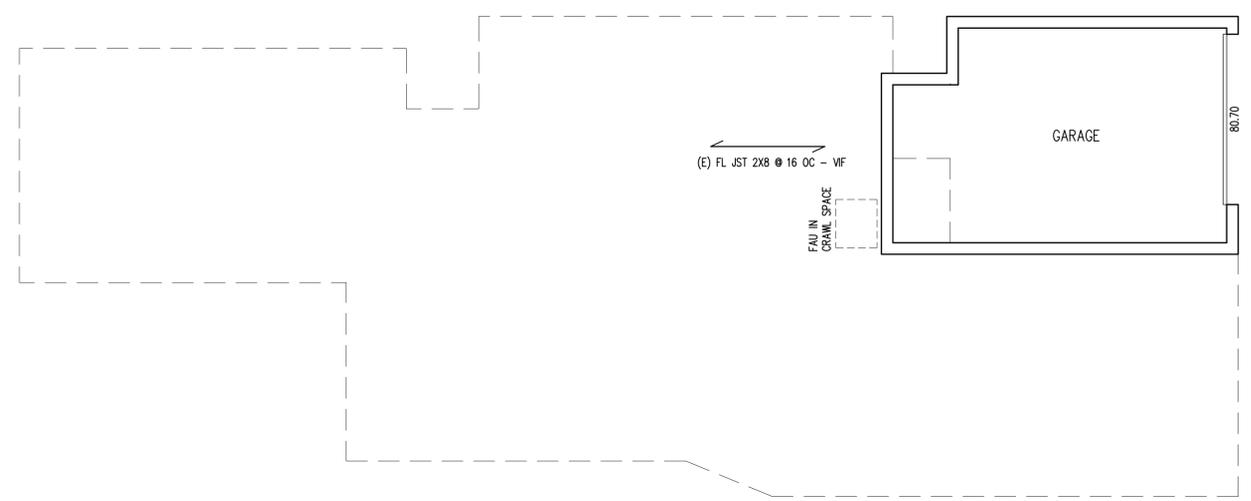


DEMOLITION NOTES:  
 VERIFY IN THE FIELD THAT THE INTERIOR WALLS BEING REMOVED ARE NON-BEARING, NON-BRACED, AND NON-SHEARED WALLS. OTHERWISE, NOTIFY THE ARCHITECT OR ENGINEER OF RECORD FOR FURTHER ACTION AND BEFORE REMOVING THE WALL(S).

CONCRETE SLAB:  
 GC TO VF THAT SLAB IS NOT A PRETENSION SLAB BEFORE CUTTING INTO THE SLAB. PROVIDE A SLAB SCAN TO ADR. CUTTING INTO A PRETENSION SLAB COULD DAMAGE THE STRUCTURE, AND BE A CAUSE SERIOUS OR DEADLY ACCIDENTS.



1 EXISTING FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



2 EXISTING GARAGE PLAN  
 SCALE: 1/4" = 1'-0"



VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

REVISIONS

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ADDITION/ REMODEL  
 820 KEY RTE BLVD,  
 ALBANY, CA 94706

EXISTING/  
 DEMOLITION PLANS

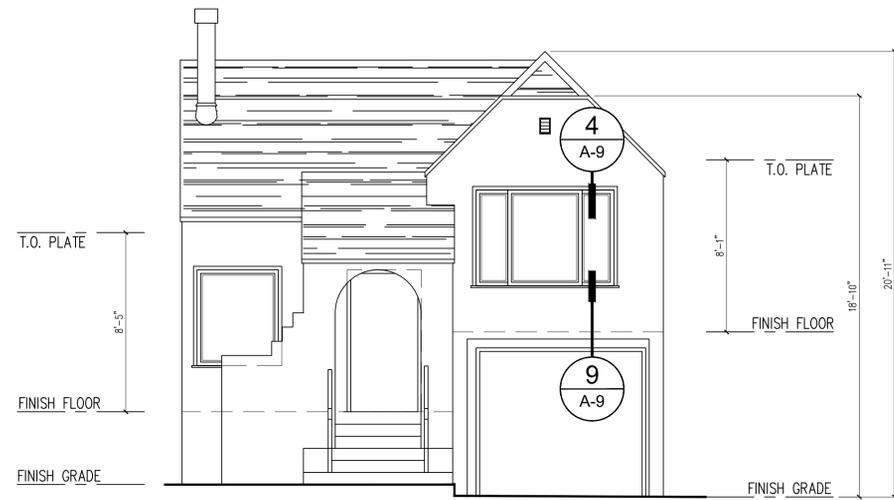
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**1/4"=1'-0"**  
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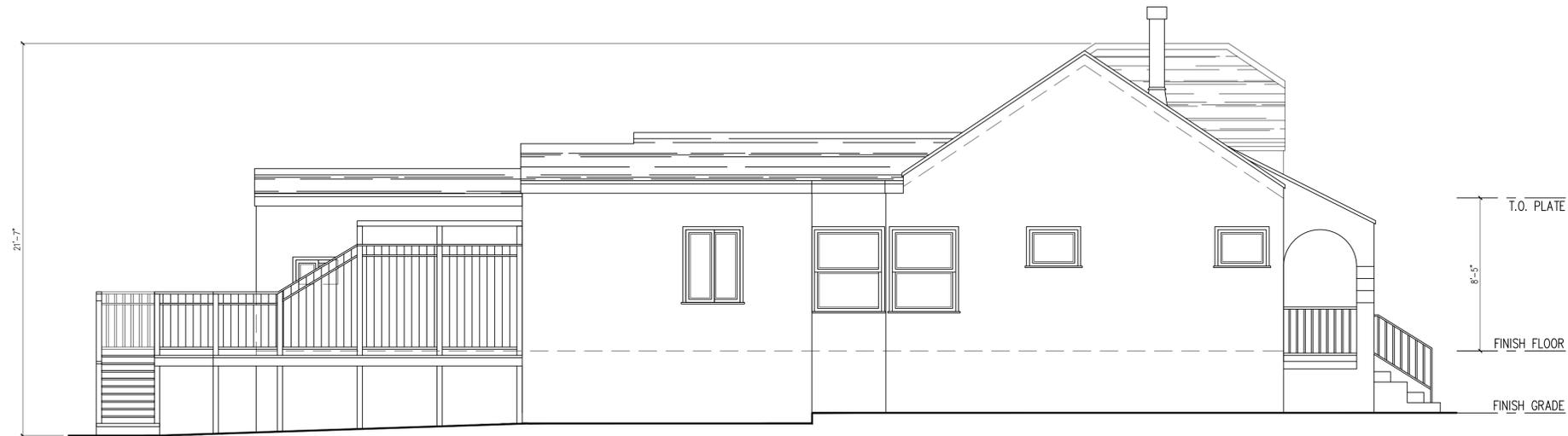
DANIEL WINTERICH  
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1 EXISTING FRONT (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING REAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING SIDE (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXISTING SIDE (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

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820 KEY RTE BLVD,  
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EXISTING  
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SHEET

A-2b



**NOTES:**  
FOR STRUCTURAL, AND/OR SEISMIC RETROFIT, SHEAR WALL DETAILS AND LOCATION, AND FOUNDATION DESIGN, SEE STRUCTURAL DESIGN.

**FOOTING:**  
GC TO WF THAT THE (E) FOUNDATION SYSTEM IS CONSISTENT WITH THE PROPOSED DESIGN (PIER HERS SPREAD FOOTING, MAT FOOTING...)  
GC TO WF EXISTING FOOTING BEFORE ANY FOUNDATION WORK IS DONE. GC TO WF THAT PROPOSED FOOTING ARE SIMILAR AND CONSISTENT WITH EXISTING FOOTING SYSTEM (PIER - PIER, SPREAD FOOTING - SPREAD FOOTING) SHOWN ON PLANS. IN CASE OF DISCREPANCY (PIER - SPREAD FOOTING), STOP WORK AND CONTACT ARCHITECT AND ENGINEER OF RECORD.

**INTERIOR FINISHES:**  
WALL - SHEET ROCK - SMOOTH FINISH  
CEILING - SHEET ROCK - SMOOTH FINISH  
FLOORS - HARDWOOD FLOORS  
FLOORS FOR BATHROOM, LAUNDRY ROOM, MUD ROOM TO BE VINYL.  
WALLS IN BATHROOMS TO BE TILES  
GARAGE TO BE SEALED/PAINED CONCRETE.  
ALL WINDOW TO BE VINYL AND/OR FIBERGLASS - UON  
ALL DOORS TO BE SOLID WOOD DOOR - UON  
ALL FINISHES TO BE SELECTED AND SPECIFIED BY OWNER - TYP. WHOLE HOUSE - UON

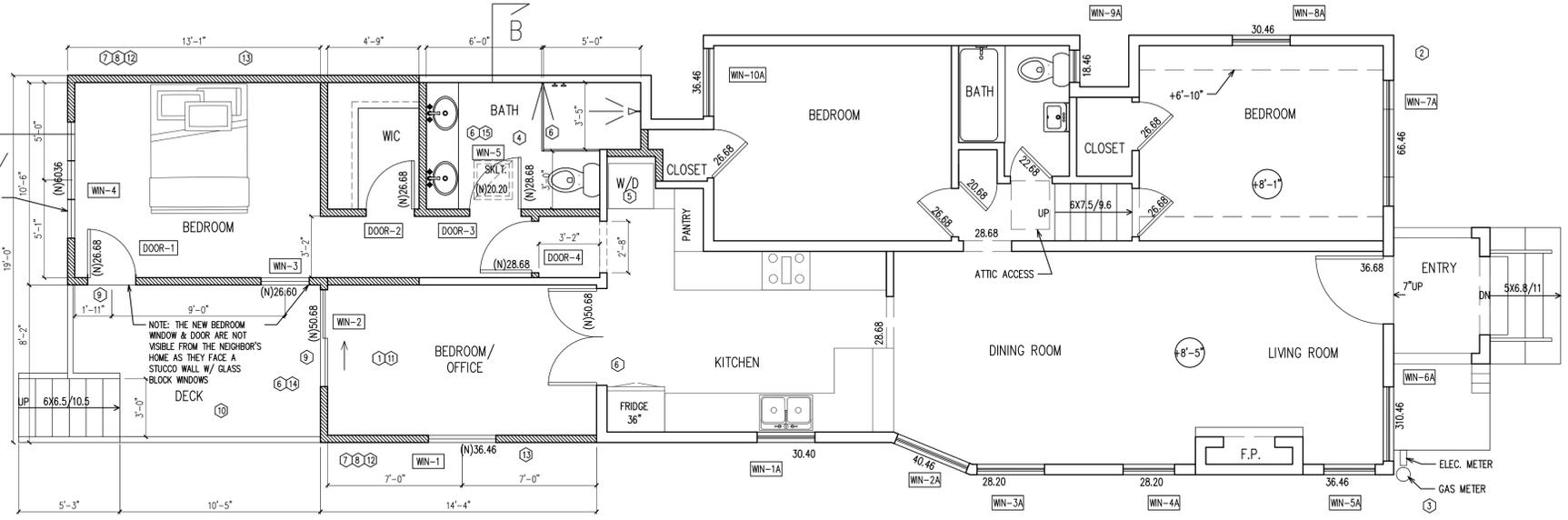
**FIXTURE, DOORS AND WINDOWS:**  
GC TO WF ALL DIMENSIONS BEFORE ORDERING DOORS, WINDOWS, FIXTURES...  
ACTUAL FRAMING DIMENSION, ROUGH DIMENSION OR FIXTURE DIMENSION MAY DIFFER FROM DIMENSIONS SHOWN ON PLAN, ESPECIALLY FOR WINDOW, DOOR, AND FIXTURE REPLACEMENT.

**INSULATION:**  
WHEN ENERGY COMPLIANCE REQUIRE HIGH QUALITY INSULATION (QI), INSTALLATION MUST COMPLY WITH QI REQUIREMENTS;  
OR INSTALLATION REQUIRED HERS INSPECTION, IT IS CRITICAL TO AVOID HOLES, VOIDS AND GAPS DURING INSTALLATION.  
IF IT DOES NOT PASS HERS INSPECTION, INSULATION WILL NEED TO BE RE-INSTALLED.

**TRUSSES:**  
GC TO VERIFY ROOF SLOPE AND DIMENSION IN THE FIELD BEFORE ORDERING MANUFACTURED TRUSSES. IN CASE OF DISCREPANCY WITH THE PLANS (EXISTING OR PROPOSED), STOP WORK AND CONTACT THE ARCHITECT OF RECORD BEFORE ORDERING THE TRUSSES.  
ALL MANUFACTURED TRUSSES ORDER REQUIRED A SITE VISIT FROM THE MANUFACTURER TO VERIFY ALL DIMENSIONS.  
GC IS SOLELY RESPONSIBLE FOR REPLACING UNFITTED TRUSSES.

**CONCRETE SLAB:**  
GC TO WF THAT SLAB IS NOT A PRETENSION SLAB BEFORE CUTTING INTO THE SLAB. PROVIDE A SLAB SCAN TO AOR.  
CUTTING INTO A PRETENSION SLAB COULD DAMAGE THE STRUCTURE, AND BE A CAUSE SERIOUS OR DEADLY ACCIDENTS.

NOTE: THE NEW BEDROOM WINDOW IS NOT VISIBLE FROM THE REAR NEIGHBOR'S PROPERTY DUE TO THE LARGE REDWOOD TREE IN THE BACKYARD



WINDOW SCHEDULE

ID	ROOM	TYP	FRAME	QTY	WIDTH	HEIGHT	GLAZING
1	BEDROOM/OFFICE	SINGLE HUNG	FIBERGLASS	1	3-6	4-6	CLR
2	BEDROOM/OFFICE	SLIDING DOOR	FIBERGLASS	1	5-0	6-8	TEMPERED
3	BEDROOM	SINGLE HUNG	VINYL	1	2-6	6-0	TEMPERED
4	BEDROOM	(3) SINGLE HUNG	VINYL	1	6-0	2-6	CLR
5	BATH	SKYLIGHT	METAL	1	2-0	2-0	CLR TEMPERED

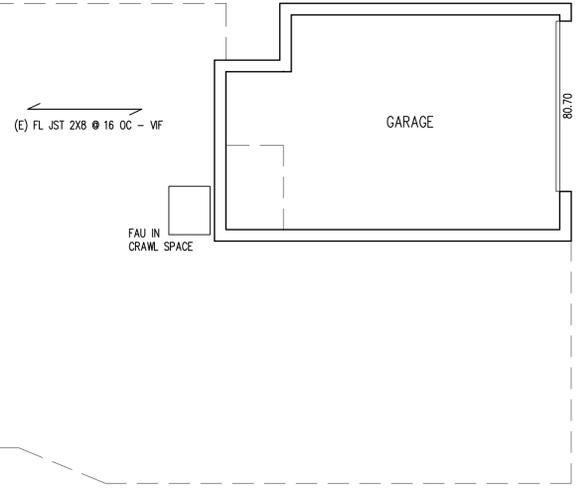
DOOR SCHEDULE

ID	ROOM	TYP	FRAME	QTY	WIDTH	HEIGHT	GLAZING
1	BEDROOM	PANEL DOOR	FIBERGLASS	1	2-6	6-8	CLR TEMPERED
2	BEDROOM	PANEL DOOR	SOLID WOOD	1	2-6	6-8	/
3	BEDROOM	PANEL DOOR	SOLID WOOD	1	2-8	6-8	/
4	BEDROOM	PANEL DOOR	SOLID WOOD	1	2-8	6-8	/

EXISTING WINDOWS (FOR REFERENCE ONLY)

ID	ROOM	TYP	FRAME	QTY	WIDTH	HEIGHT	GLAZING
1A	KITCHEN	SLIDING WINDOW	VINYL	1	3-0	3-0	CLR
2A	DINING ROOM	SINGLE HUNG	VINYL	1	4-0	4-6	CLR
3A	DINING ROOM	SINGLE HUNG	VINYL	1	2-8	2-0	CLR
4A	LIVING ROOM	AWNING	VINYL	1	2-8	2-0	CLR
5A	LIVING ROOM	AWNING	VINYL	1	3-6	4-6	CLR
6A	LIVING ROOM	FIXED	FIBERGLASS	1	3-10	4-6	CLR
7A	BEDROOM	SLIDING WINDOW	FIBERGLASS	1	6-6	4-6	CLR
8A	BEDROOM	SLIDING WINDOW	FIBERGLASS	1	3-6	4-6	CLR
9A	BATH	SLIDING	ALUMINUM	1	1-8	4-6	EXISTING TO REMAIN
10A	BEDROOM	SINGLE HUNG	VINYL	1	3-6	4-6	CLR
11A	KITCHEN	FRENCH DOOR	WOOD	1	5-0	6-8	CLR TEMPERED

1 PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 EXISTING GARAGE PLAN  
SCALE: 1/4" = 1'-0"



VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

**TIMBER FRAMING:**  
ALL FRAMING LUMBER SHALL BE DOUGLAS FIR OR GRADE STAMPED ACCORDING TO THE CURRENT GRADING RULES AS FOLLOWS:  
BEAMS AND STRINGERS - #1 OR STRUCTURAL AS NOTED  
CEILING JOISTS AND RAFTERS - #2 OR #1 AS NOTED  
FLOOR FRAMING SHALL BE #2 @ 16" O.C. U.O.N.  
DOOR AND WINDOW HEADERS - #2 STUDS - #2  
PLATES AND BLOCKING - #2  
ALL LUMBER SHALL BE MINIMUM DOUGLAS FIR #2 WMPA ALL SUB-FLOORS SHALL BE 3/4" TONGUE AND GROOVE EDGE GOLD OSB, STAGGERED JOINTS. GUE WITH OSI CONSTRUCTION ADHESIVE. NAIL WITH 10D NAILS AT 6" O.C. AT SIDES AND 12" O.C. THROUGHOUT.

DOUBLE FLOOR JOISTS BELOW PARALLEL PARTITIONS WITH 16D NAILS AT 12" O.C., STAGGERED.  
ALL SHEAR WALLS SHALL BE 3/4" OSB UON. PROVIDE HARDWARE MANUFACTURED BY SIMPSON AS REQUIRED. INSTALL PER MANUFACTURER'S INSTRUCTIONS.  
FLOOR JOISTS AND CEILING JOISTS SHALL BE SIDE LAPPED AND NAILED OVER TOP PLATES, U.O.N.  
ALL UNTREATED WOOD FRAMING SHALL BE A MINIMUM OF 8" ABOVE ADJACENT FINISHED GRADE.  
ALL TIMBER LESS THAN 8" FROM FINISHED GRADE SHALL BE PRESSURE TREATED. ALL SILL PLATE TO BE PT WOOD.  
EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE POURED MUST BE WETTED NOT LESS THAN 24 HOURS PRIOR TO PLACING CONCRETE.  
FRAMING (E.G., JOISTS, BEAMS, POSTS, DECKING) SHALL BE OF APPROVED NATURALLY DURABLE OR PRESSURE TREATED WOOD.

REINFORCEMENT OF CONCRETE SLAB AND SLAB THICKNESS TO BE AS NOTED ON DRAWINGS.  
MIN. 4" THICK WITH #4 BARS AT 18" O.C. E/W PROVIDE GROOVED JOINTS AT 10'-0" O.C.  
EARTH ON WHICH CONCRETE FOUNDATIONS ARE TO BE POURED MUST BE WETTED NOT LESS THAN 24 HOURS PRIOR TO PLACING CONCRETE.  
**NEW FOUNDATIONS:**  
AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW STRUCTURE CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS, AND DOES NOT ENCROACH IN THE SETBACK.  
**CONCRETE FOUNDATIONS:**  
ALL CONCRETE SHALL BE MINIMUM 2500 PSI STRENGTH WITHIN 28 DAYS. - UON SSD REINFORCING STEEL LARGER THAN #5 SHALL BE GRADE 60 DEFORMED BARS CONFORMING TO ASTM A415, 30000 PSI. SPLICES = 40 BAR DIAMETERS, BENDS MINIMUM 12".

FLASHING: ALL NEW WINDOWS AND DOORS W/ GLASS WINDOW TO HAVE U FACTOR AS NOTED ON ENERGY REPORT & BE NFRC RATED - TYP. ALL GLASS IN (N) INTERIOR OR EXTERIOR DOORS TO BE TEMPERED.  
**EGRESS:**  
IN BED ROOMS, AT LEAST ONE WINDOW OR DOOR TO EXTERIOR TO COMPLY WITH EGRESS REQUIREMENTS. ONE WINDOW IN EACH BEDROOM MUST COMPLY W/ THE FOLLOWING:  
MIN CLEAR OPENING HEIGHT OF 24"  
MIN CLEAR OPENABLE WIDTH OF 20"  
MIN CLEAR OPENABLE AREA NOT LESS THAN 5.7 SF.  
BOTTOM OF CLEAR OPENING NOT GREATER THAN 44" ABOVE THE FLOOR - GC TO WF

WINDOWS: ALL NEW WINDOWS AND DOORS W/ GLASS WINDOW TO HAVE U FACTOR AS NOTED ON ENERGY REPORT & BE NFRC RATED - TYP. ALL GLASS IN (N) INTERIOR OR EXTERIOR DOORS TO BE TEMPERED.  
**STUCCO:**  
EXTERIOR 7/8-INCH TEXTURED STUCCO SHALL BE APPLIED ACCORDING TO THE USBC RECOMMENDATIONS, TECHNICAL SERVICES INFORMATION BUREAU - CHAPTER 6 - THREE-COAT PLASTER-STUCCO DETAILS  
**INSULATION:**  
ALL EXTERIOR WALLS/CEILINGS/FLOORS (OR WALLS ADJACENT TO UNCONDITIONED SPACE) THAT ARE OPENED UP DURING CONSTRUCTION WILL BE INSULATED.

2X4 FRAMED WALLS WITH A MINIMUM OF R-15, 2X6 FRAMED WALLS WITH R-21, FLOORS W/ R-19 CEILINGS WITH R-30 (ZONE 3) R-38 (ZONE 12) OR AS OTHERWISE NOTED ON PLAN OR ENERGY REPORT. FOR ALL NEW WALLS, FLOORS, ROOF, SEE ENERGY REPORT FOR INSULATION REQUIREMENTS.  
**VENTILATION:**  
MECHANICAL VENTILATION SYSTEM PROVIDED IN THE BATHROOM/WATER CLOSET SPACES SHALL BE A MINIMUM 50-CU. FT. PER MINUTE (FOR INTERMITTENT VENTILATION), OR 25-CU. FT. PER MINUTE FOR CONTINUOUS VENTILATION. THE VENTILATION AIR FROM THIS SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.  
WHEN THE BATHROOM OR TOILET ROOM IS NOT OCCUPIED

WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQ.FT. PROVIDE MECHANICAL VENTILATION WITH AN EXHAUST FAN SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.  
EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL.  
WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL.  
EXHAUST RATE OF RESTROOM FANS AT (E) BATHROOM, (N) BATHROOM AND POWDER ROOM ADJACENT TO GARAGE AND FAMILY ROOM THAT DO NOT HAVE A WINDOW TO HAVE ARTIFICIAL LIGHT AND A LOCAL EXHAUST SYSTEM.  
THE MINIMUM LOCAL EXHAUST RATES SHALL BE 50 CUBIC FEET PER MINUTE FOR INTERMITTENT VENTILATION OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS.  
DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET (4267 MM), INCLUDING TWO 90 DEGREE (1.57 RAD) ELBOWS. A LENGTH OF 2 FEET (610 MM) SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57 RAD) ELBOW IN EXCESS OF TWO, NOT LESS THAN A 4 INCH DIAMETER (102 MM) MOISTURE EXHAUST DUCT OF APPROVED MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE.  
GC TO PROVIDE AN EXHAUST FAN FOR WHOLE-BUILDING VENTILATION TO MEET INDOOR AIR QUALITY (IAQ) REQUIREMENTS. THE FAN SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED.

PROVIDE WHOLE HOUSE FAN (WHF) WHEN INDICATED ON THE ENERGY REPORT  
TERMINATION OF ALL ENVIRONMENTAL AIR DUCT EXHAUST SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E., BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).  
FLUE / VENT FOR DRYER 14'-0" LONG MAX. END MUST BE 3'-0" MIN FROM ANY OPENING. IF LONGER THAN 14'-0" ADD MECHANICAL FAN TO BE AUTOMATICALLY ON WHEN W/D ARE IN USE.  
(N) METAL FLUE TO BE INSULATED AND 4" CLR MIN ALL TIMBER - INSTALL PER MANUFACTURER SPECIFICATIONS. INSULATE ALL FLUE & VENT TO PREVENT CONDENSATION.

OR 20 CUBIC FEET PER MINUTE FOR CONTINUOUS VENTILATION. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS.  
DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET (4267 MM), INCLUDING TWO 90 DEGREE (1.57 RAD) ELBOWS. A LENGTH OF 2 FEET (610 MM) SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57 RAD) ELBOW IN EXCESS OF TWO, NOT LESS THAN A 4 INCH DIAMETER (102 MM) MOISTURE EXHAUST DUCT OF APPROVED MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE.  
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(N) METAL FLUE TO BE INSULATED AND 4" CLR MIN ALL TIMBER - INSTALL PER MANUFACTURER SPECIFICATIONS. INSULATE ALL FLUE & VENT TO PREVENT CONDENSATION.

- KEY NOTES**
- SEE ATTACHED MANDATORY MEASURES TO BE FOLLOWED ON/AND DONE DURING CONSTRUCTION PER 2022 CBC
  - APPROVED ADDRESS NUMBER FOR EACH UNIT TO BE CONTRAST W/ BACKGROUND COLOR, MIN 4" HIGH, MIN STROKE OF 3/8" AND BE ILLUMINATED, AND CLEARLY VISIBLE FROM THE STREET
  - WF & INSTALL INSTANT GAS SHUT OFF
  - BATHROOM - SHOWER COMPARTMENT TO HAVE A MIN. FINISHED INTERIOR OF 1/2" TO 3/4" ABOVE DRAIN TO A HEIGHT OF 72" ABOVE DRAIN TO BE TILED ON FIBER CEMENT BACKER BOARD 30" DIA. CLR ALL WALLS ADJACENT TO TUB TO A HEIGHT OF 72" ABOVE DRAIN TO BE TILED ON FIBER CEMENT BACKER BOARD DRYWALL MUST CONTINUE BEHIND TUB/SHOWERS. GYPSUM BOARD USED AS BACKER SHALL NOT BE INSTALLED OVER A CLASS 1 OR 1 VAPOR RETARDER AT TUB OR SHOWER COMPARTMENTS. CRC R702.3.7 TOILET TO HAVE 15" CLR MIN. OC. EACH SIDE AND 24" CLR MIN IN FRONT
  - LAUNDRY ROOM PUT FOAM INSULATION AT ALL WALL AROUND LAUNDRY ROOM AT LAUNDRY ROOM PROVIDE A MINIMUM SIZED OPENING OF 100 SQUARE INCHES IN DOOR PER CMC 504.3.2. FOR MAKEUP AIR. (N) FLUE / VENT FOR DRYER 14'-0" LONG MAX. END MUST BE 3'-0" MIN FROM ANY OPENING. IF LONGER THAN 14'-0" ADD MECHANICAL FAN TO BE AUTOMATICALLY ON WHEN W/D ARE IN USE. (N) METAL FLUE TO BE INSULATED AND 4" CLR MIN ALL TIMBER - INSTALL PER MANUFACTURER SPECIFICATIONS
  - TEMP. GLASS
  - (N) EXTERIOR WALL 2X6 OF #2 MIN 1/2 PLY WOOD SHEATHING - R-21 INSULATION UON IN T24 2 LAYER GRAD 70 BLDG. PAPER SINGING AND TRIM OR STUCCO TO MATCH (E) - UON
  - (N) CONCRETE FOUNDATION SOIL TO SLOPE AWAY FROM FOUNDATION 10' MIN AT 5% ALL SILL PLATE TO BE PT WOOD - NO EXCEPTION
  - AT DOOR, 36" MIN DEPTH LANDING TO BE NO MORE THAN 1'-1/2" BELOW 1/2" THRESHOLD - LANDING TO SLOPE AWAY 1/4" PER FOOT MIN
  - (N) DECK/STAIRS TO BE REDWOOD OR PRESSURE TREATED WOOD - UON - SSD FOR DETAILS.
  - DRY ROT - REPAIR AND REPLACE AS NECESSARY
  - MAINTAIN AT LEAST 8" BETWEEN WEEP SCREED AND DIRT. MAINTAIN AT LEAST 6" BETWEEN THE WEEP SCREED AND ANY PAVED AREA
  - ALL (N) OR ALTERED WALLS THAT ARE WITHIN 5'-0" OF PROPERTY LINE TO BE 1 HOUR FIRE RATED - SEE DETAILS
  - SLOPE AWAY 1/4" PER FOOT MIN
  - ALL UNIT SKYLIGHTS INSTALLED IN A ROOF WITH A PITCH FLATTER THAN THREE UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE) SHALL BE MOUNTED ON A CURB EXTENDING AT LEAST 4 INCHES ABOVE THE PLANE OF THE ROOF UNLESS OTHERWISE SPECIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. CRC SECTION R308.6. LAMINATED, FULLY TEMPERED, HEAT STRENGTHENED, W/REID, OR APPROVED RIGID PLASTIC GLAZING AT THE SKYLIGHTS ABOVE THE LIVING ROOM. CRC SECTION R308.6.2

REVISIONS

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PROPOSED  
PLAN

DRAWN BY  
CA008  
CHECKED BY  
CA000  
ISSUE DATE  
05/28/2025  
SCALE  
1/4"=1'-0"  
ANURA JOB NO  
CA2502-0007  
SHEET

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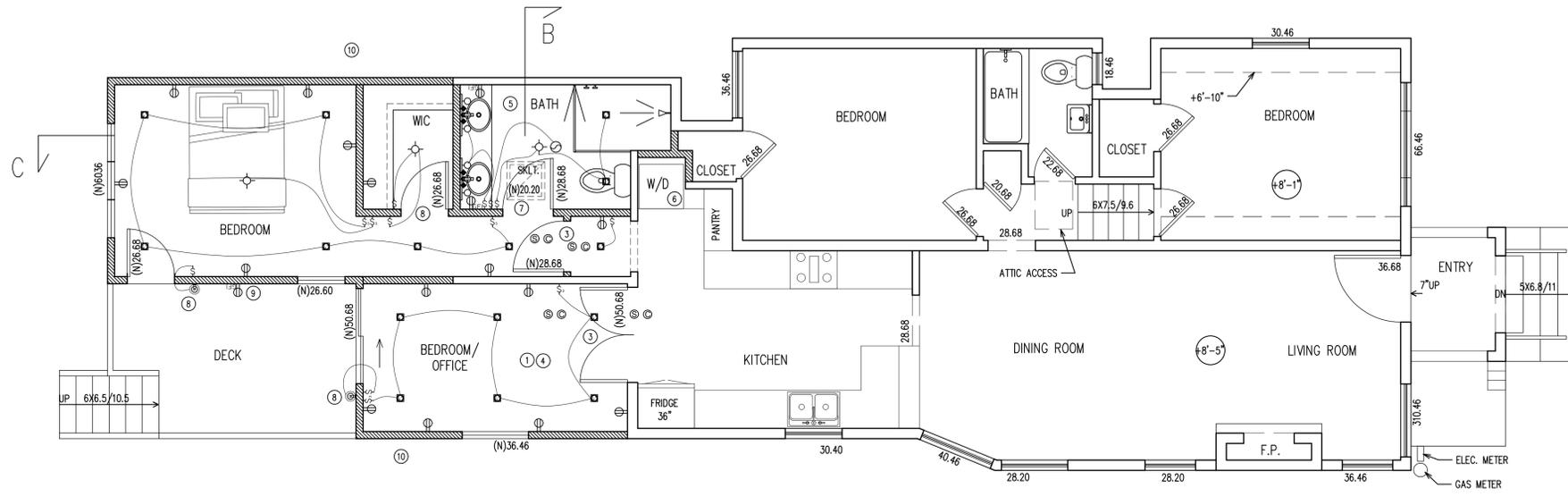
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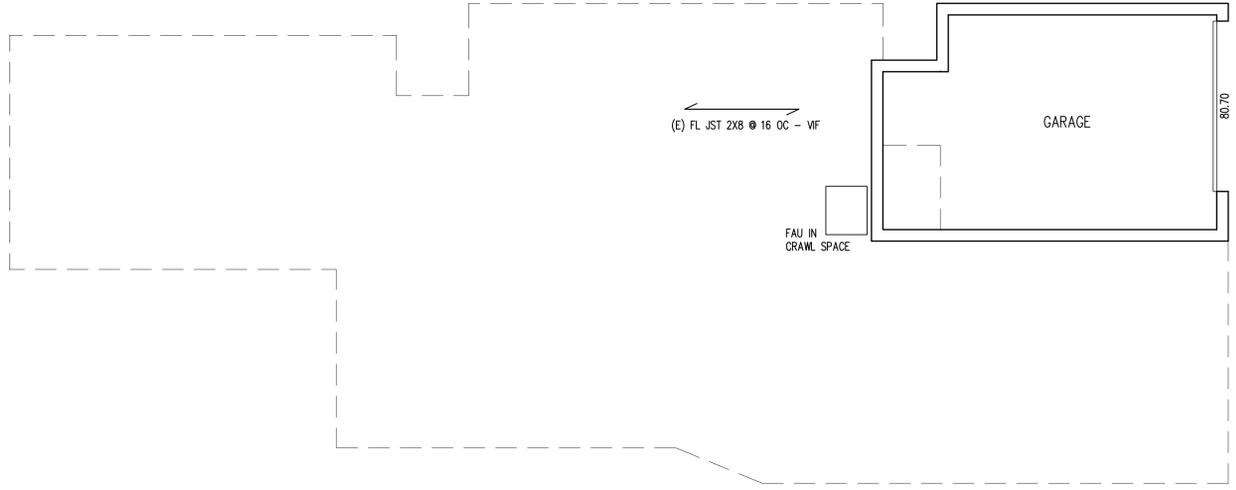
PROPOSED  
ELECTRICAL PLAN

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- KEY NOTES
- 1 SEE ATTACHED MANDATORY MEASURES TO BE FOLLOWED OR/AND DONE DURING CONSTRUCTION PER 2022 CBC
  - 2 APPROVED ADDRESS NUMBER FOR EACH UNIT TO BE CONTRAST W/ BACKGROUND COLOR, MIN 4" HIGH, MIN STROKE OF X" AND BE ILLUMINATED, AND CLEARLY VISIBLE FROM THE STREET
  - 3 NEW CARBON MONOXIDE ALARMS AND SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. THEY SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. SMOKE ALARMS SHALL BE INSTALLED A MINIMUM OF 20 FEET FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. IONIZATION SMOKE ALARMS AND PHOTOELECTRIC SMOKE ALARMS ARE PERMITTED TO BE INSTALLED 10 FEET OR GREATER FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
  - 4 ARC FAULT CIRCUIT INTERRUPTERS IN ALL ROOMS - UON
  - 5 (N) BATHROOM  
PROVIDE AT LEAST ONE 20-AMP CIRCUIT AT BATHROOM; CIRCUIT SHALL HAVE NO OTHER OUTLETS.  
LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED - SUITABLE FOR WET/DAMP LOCATIONS.  
MECHANICAL VENTILATION (EXHAUSTED FAN) IS REQUIRED IN ALL BATHROOMS.  
BATHROOM EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH CGCS 4.506.1 AND SHALL INCLUDE THE FOLLOWING: HAVE AN EXHAUST RATE OF MIN 50 CFM AND BE ENERGY STAR COMPLIANT AND HAVE A BACKDRAFT DAMPER.  
UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.  
HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 60%. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. BATHROOM EXHAUST FAN CONTROLS MUST COMPLY WITH ONE OF THE FOLLOWING:  
ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS. FOR AN EXHAUST FAN WITH AN INTEGRAL LIGHTING SYSTEM, IT SHALL BE POSSIBLE FOR THE LIGHTING SYSTEM TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.  
IF FAN IS PART OF INTERMITTENT WHOLE HOUSE FAN VENTILATION SYSTEM PER ASHRAE 62.2, MAXIMUM SOUND RATING OF 3-SONES IS ALLOWED AT 100 CFM.  
LIGHTS AT BATHROOM ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.  
EXHAUST FAN SHOWING IN THE BATHROOMS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. (CENC 150.0(K) 2 (B)).
  - 6 (N) LAUNDRY AREA  
PROVIDE AT LEAST ONE 30-AMP CIRCUIT AT LAUNDRY ROOM; CIRCUIT SHALL HAVE NO OTHER OUTLETS.  
LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS MUST BE MARKED - SUITABLE FOR WET/DAMP LOCATIONS.  
LIGHTS AT LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.  
PROVIDE 1 EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 50 CFM. THE DUCTING SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 - TABLE 7.1. [8150(0) CENC]
  - 7 VACANCY SENSOR
  - 8 OUTDOOR LIGHTING SHALL BE CONTROLLED BY MANUAL ON/OFF SWITCH AND CONTROLLED BY PHOTOCELL AND MOTION SENSOR OR PHOTOCONTROL TIME SWITCH CONTROL/ASTRONOMICAL TIME CLOCK/ENERGY MANAGEMENT CONTROLS SYSTEM.
  - 9 WEATHERPROOF EXTERIOR GRADED OUTLET
  - 10 ALL OUTLETS, SWITCH, IN 1 HOUR FIRE RATED WALL TO BE 1 HOUR RATED COMPLIANT.



1 PROPOSED ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



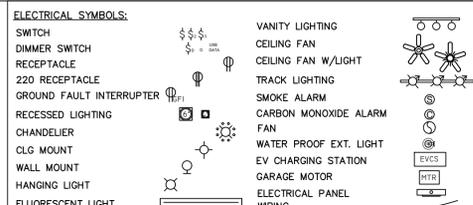
2 EXISTING GARAGE PLAN  
SCALE: 1/4" = 1'-0"



VERIFY ALL DIMENSIONS IN FIELD, IN CASE OF DISCREPANCY, GC TO CONTACT ARCHITECT PRIOR TO CONTINUATION OF WORK.

**ELECTRICAL NOTES:**

- AFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES EXCEPT FOR THOSE LOCATED OUTSIDE, IN BATHROOMS, GARAGES, ATTICS AND BASEMENTS.
- TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL LOCATIONS EXCEPT AT OUTLETS LOCATED MORE THAN 5 1/2 FEET ABOVE THE FLOOR, OUTLETS THAT ARE A PART OF A LUMINAIRE, OUTLETS DEDICATED TO APPLIANCES THAT CANNOT BE EASILY MOVED AND AT OUTLETS LOCATED IN ATTICS.
- GFCI PROTECTION REQUIRED FOR RECEPTACLES LOCATED OUTDOORS, IN BATHROOMS, UNFINISHED BASEMENTS, CRAWL SPACES, KITCHEN AND WET BAR COUNTER TOP SURFACES, GARAGES, ACCESSORY BUILDINGS NOT INTENDED AS HABITABLE ROOMS.
- RECEPTACLES LOCATED IN DAMP OR WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF AND SHALL BE LISTED WEATHER RESISTANT TYPE.
- CLARIFY RECEPTACLE OUTLET LOCATIONS:
- A) RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR IN ANY WALL SPACE IS OVER 6 FEET FROM THE RECEPTACLE (ALLOWING 12 FEET MAX. BETWEEN RECEPTACLES ON THE SAME WALL).
- B) RECEPTACLES SHALL BE LOCATED ALONG ANY WALL THAT IS 2 FEET OR MORE IN LENGTH.
- C) RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH WALL COUNTER SPACE THAT IS 12 INCHES OR WIDER, NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE.
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL BE LISTED BY SOURCE TYPE
- SCREW BASED LUMINAIRES SHALL MEET ALL THE FOLLOWING:
  - A) SHALL NOT BE RECESSED DOWN LIGHT LUMINAIRES IN CEILING; AND
  - B) SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE JOINT APPENDIX J4B; AND
  - C) THE INSTALLED LAMPS SHALL BE MARKED WITH J4B-2022 OR J4B-2022-E.
- LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL THE REQUIREMENTS FOR:
  - INSULATION CAULK (IC) LABELING; SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW, BE RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION.
  - AT LEAST ONE LIGHT IN BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR CERTIFIED TO COMPLY WITH SECTION 119(D) THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. (150)(K)3)
  - DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX J4B (INCLUDING CEILING RECESSED DOWNLIGHT LUMINAIRES AND GU-24 SOCKETS CONTAINING LED LIGHT SOURCES) AND THEY SHALL COMPLY WITH SECTION 119(D) AND NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION. EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET; LUMINAIRES IN HALLWAYS.
  - RECESSED LIGHT FIXTURES SHOULD BE BOXED IN.
  - DOOR BELL AND CHIME SHALL BE PROVIDED AS A STANDARD ITEM. PROVIDE ALL ELECTRICAL FIXTURES AND APPLIANCES AS SELECTED BY OWNERS - GC TO VERIFY ALL FIXTURE MEET CODE.
  - FOR REMODELED AREAS, SPECIFY RECEPTACLE OUTLETS IN THE FOLLOWING LOCATIONS, AS SHOWN ON PLANS, 12" O.C. MAX. AND WITHIN 6" FROM THE ENDS OF WALLS, ANY WALL SPACE 2' OR MORE FEET WIDE.
  - AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED AT OUTDOOR ENTRANCES.
  - MANUAL ON AND OFF SWITCHES MUST NOT OVERRIDE THE AUTOMATIC CONTROL FUNCTIONS LISTED ABOVE AND ANY CONTROL THAT OVERRIDES THE AUTOMATIC CONTROLS TO ON MUST AUTOMATICALLY REACTIVATE THOSE CONTROLS WITHIN SIX HOURS.
  - RESIDENTIAL OUTDOOR LIGHTING PERMANENTLY MOUNTED TO THE DWELLING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR BY PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR BY ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS OR BY ENERGY MANAGEMENT CONTROL SYSTEM.
  - LUMINAIRES RECESSED IN INSULATED CEILINGS SHALL COMPLY WITH THE FOLLOWING:
    - AIR TIGHT BE SEALED WITH GASKET OR CAULK BETWEEN LUMINAIRE HOUSING AND CEILING AND AT ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES. SHALL NOT CONTAIN SCREW BASE SOCKETS
    - ALL LIGHTING SHALL BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.0 (K) AND JOINT APPENDIX J4B. MANUFACTURERS MUST TEST THEIR PRODUCTS AT AN ACCREDITED TEST LABORATORY AND SUBMIT TEST RESULTS TO THE CALIFORNIA ENERGY COMMISSION TO GAIN J4B CERTIFICATION. A LIST OF COMPLIANT PRODUCTS CAN BE FOUND AT [HTTPS://CAENERGY.COM/APPLIANCES/ENERGY.CA.GOV](https://caenergy.com/appliances/energy.ca.gov).
    - ALL ELECTRICAL INSTALLATION SHALL MEET THE MINIMUM OR MAXIMUM ALLOWED IN THE 2022 MANDATORY MEASURES - NO EXCEPTION
    - GAS LINE SIZING CALCULATIONS TO BE A DEFERRED SUBMITTAL ITEM AND PROVIDED BY GC.
    - DUCT SIZING AND DUCT LAYOUT TO BE A DEFERRED SUBMITTAL ITEM AND PROVIDED BY GC.
    - IC RATED, ELECTRONIC BALLAST AND AIR-TIGHT (AT) FIXTURES FOR RECESSED LUMINAIRES
    - ALL ADDED/REPLACED BRANCH CIRCUITS THAT SUPPLY 120 VOLT SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAY, OR SIMILAR ROOMS OR AREA SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED.
    - ALL ADDED/REPLACED 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.



REVISIONS

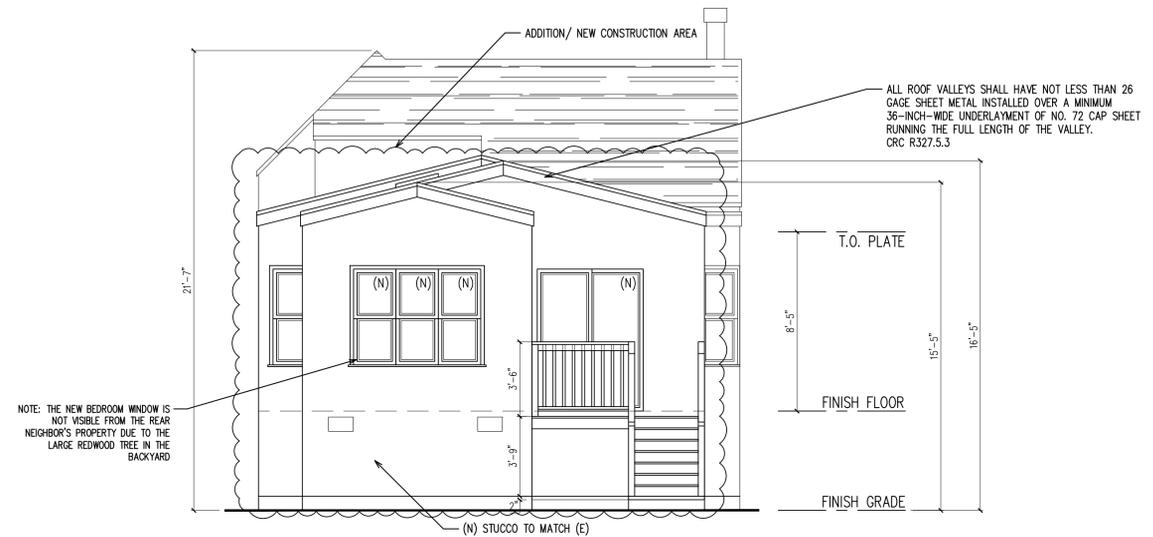
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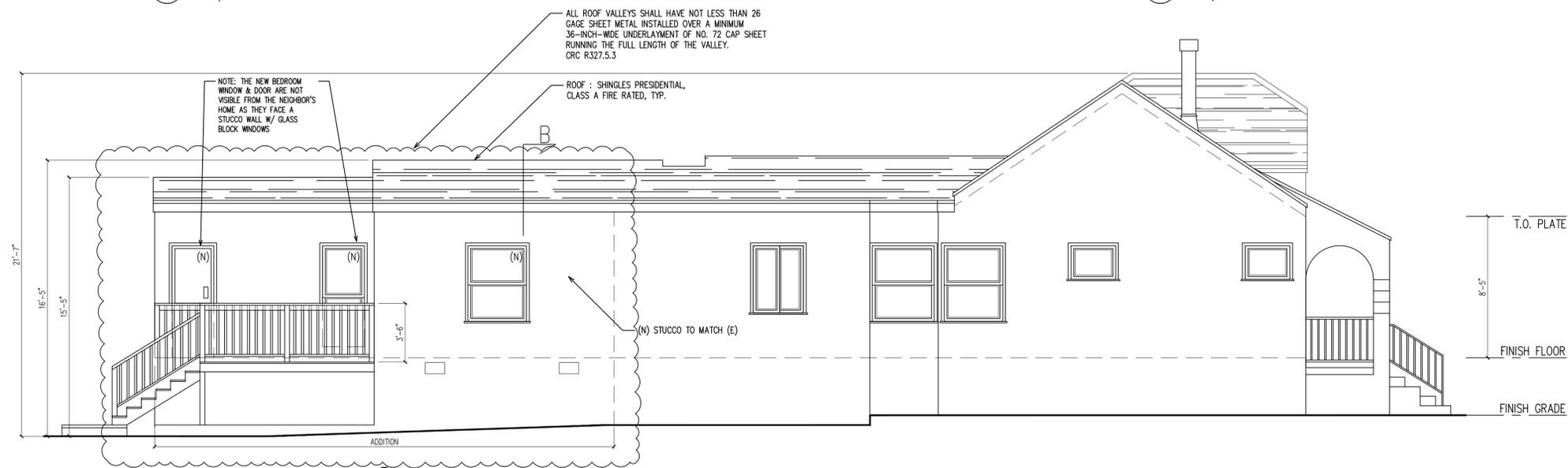
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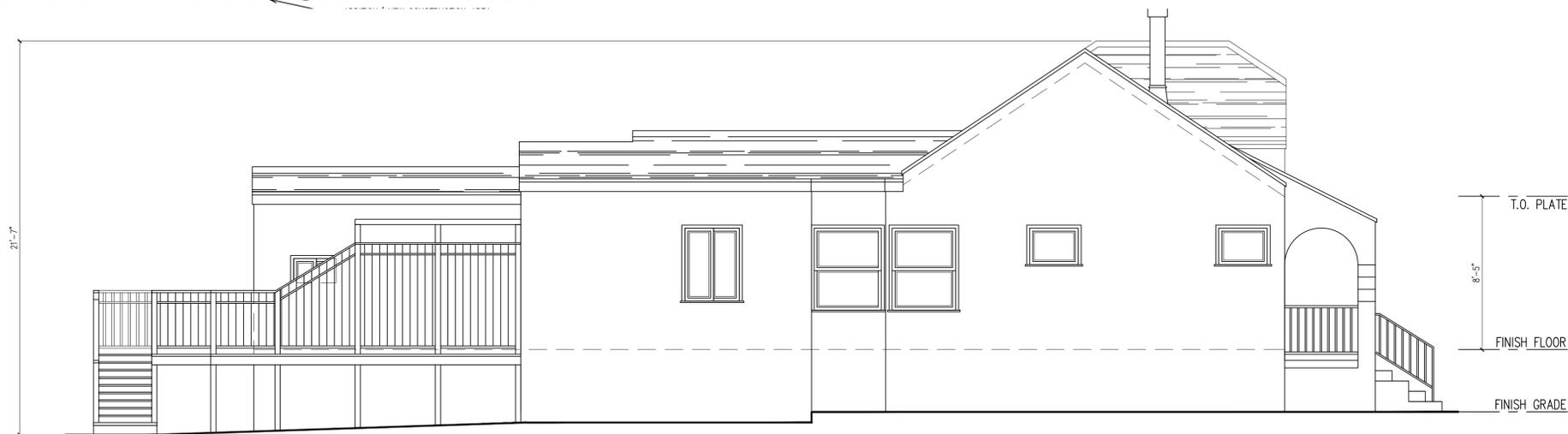
1 PROPOSED FRONT (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED REAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING SIDE (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



4 PROPOSED SIDE (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

SUB FLOOR VENT CALCULATION:  
SUB FLOOR AREA = 314 SF  
314 / 150 = 2 SF OF VENT NEEDED  
VENTS W/ GALVANIZED BIRD SCREENS  
14"x8" = 0.77 SF  
PROVIDED 6 VENT MINIMUM THROUGHOUT TH  
SUB FLOOR. (4.66 SF PROVIDED)  
VENT TO BE EVENLY SPACED.



ADDITION/ REMODEL  
820 KEY RTE BLVD,  
ALBANY, CA 94706

PROPOSED  
ELEVATIONS

DRAWN BY  
CA008  
CHECKED BY  
CA000  
ISSUE DATE  
05/28/2025  
SCALE  
1/4"=1'-0"  
ANURA JOB NO  
CA2502-0007  
SHEET

A-5

REVISIONS

- 1
- 2
- 3
- 4
- 5



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FRONT OF HOUSE - MAINTAIN EXISTING COLORS, REPAIR STUCCO & TRIM



BACK OF HOUSE - REMOVE UN-PERMITTED LAUNDRY ROOM, ADD PRIMARY BEDROOM SUITE & 4TH BEDROOM, MATCH (E) STUCCO, ROOF, WINDOWS, DOORS & TRIM



SIDE OF HOUSE - MAINTAIN EXISTING COLORS, REPAIR STUCCO & TRIM



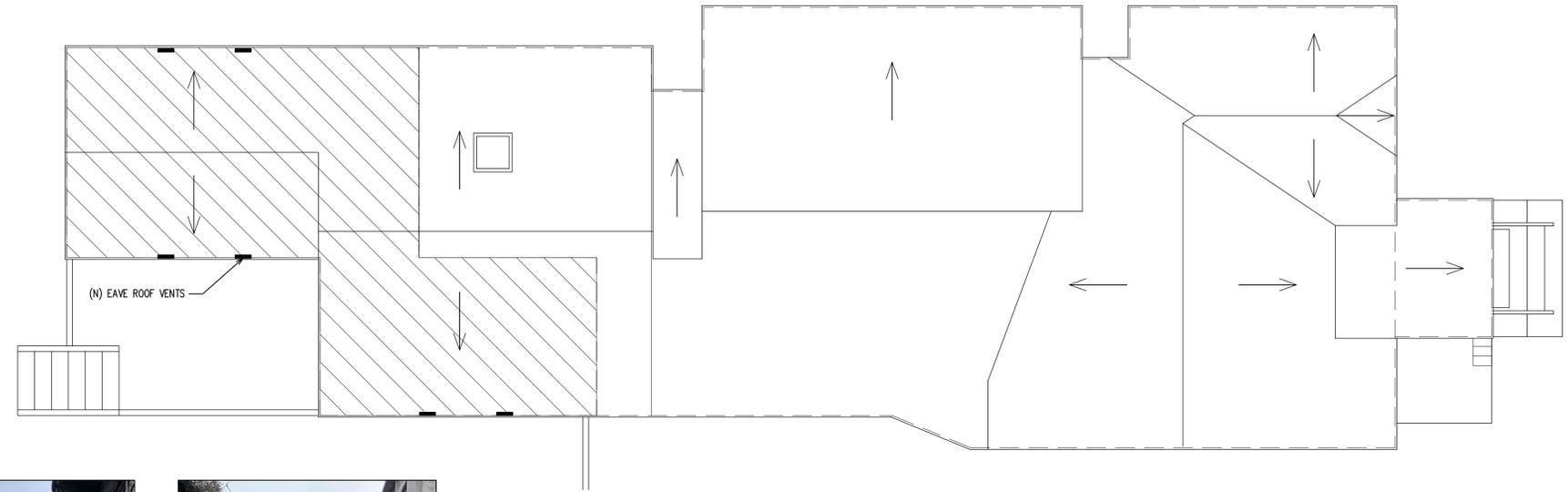
SIDE OF HOUSE - MAINTAIN EXISTING COLORS, REPAIR STUCCO & TRIM



SIDE OF HOUSE - REPLACE FIRE-DAMAGED FENCE



REPLACE FIRE-DAMAGED REDWOOD FENCE LIKE-FOR-LIKE



1 ROOF VENT CALCULATION  
SCALE: 1/4" = 1'-0"

ROOF VENT CALCULATION 314 SF ATTIC  
314 / 150 = 2 SF OF VENT NEEDED  
EAVES VENTS  
1 EAVE VENT 4"x20"=0.5 SF EACH  
6 EAVE VENTS = 3SF  
PROVIDE 10 EAVE VENTS EVENLY SPACED (3 SF)

2 PHOTOS OF EXISTING CONDITIONS  
SCALE: NONE



3 STREET ELEVATION  
SCALE: 1/4" = 1'-0"

ADDITION/ REMODEL  
820 KEY RTE BLVD,  
ALBANY, CA 94706

PROPOSED  
ROOF VENT CALC.,  
STREET ELEVATION

DRAWN BY  
CA008  
CHECKED BY  
CA000  
ISSUE DATE  
05/28/2025  
SCALE  
1/4"=1'-0"  
ANURA JOB NO  
CA2502-0007  
SHEET

A-6



REVISIONS

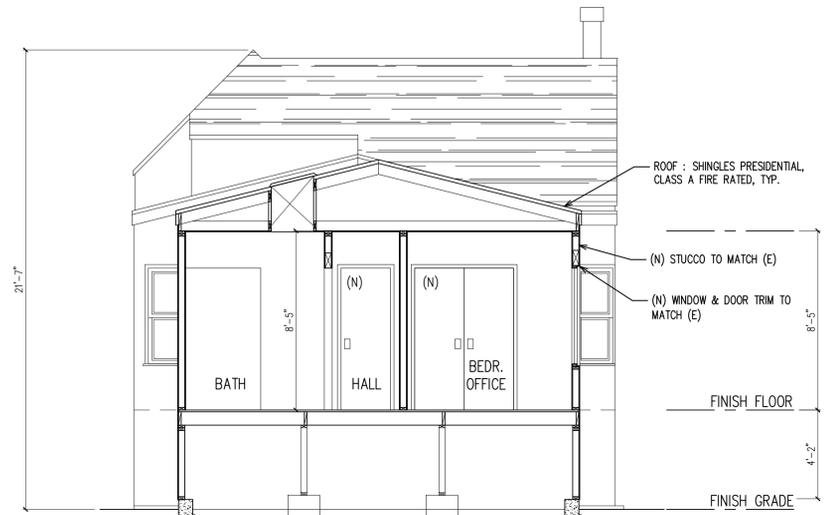
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- 2
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- 4
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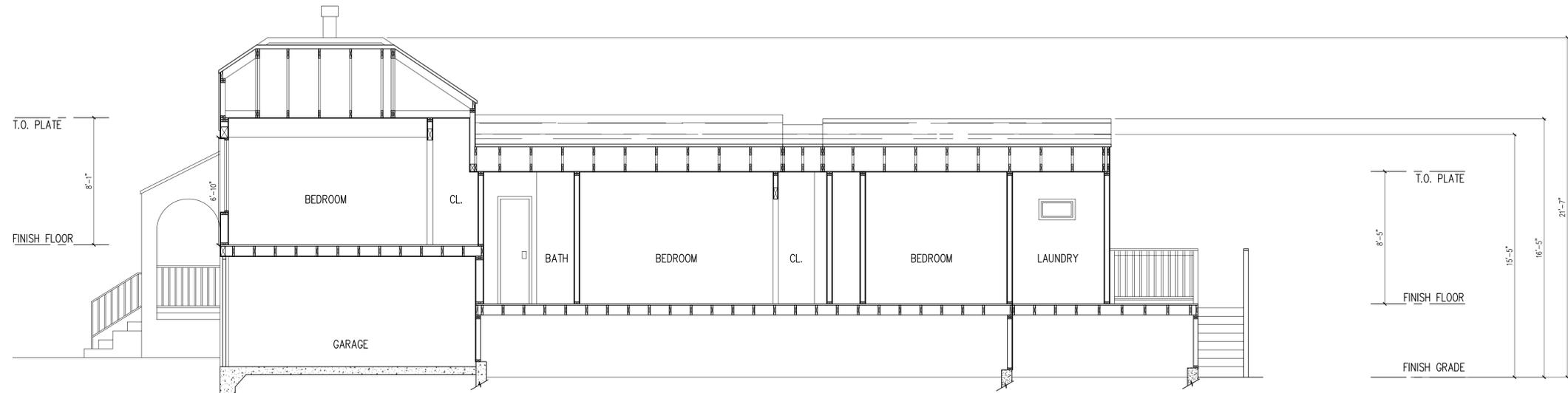
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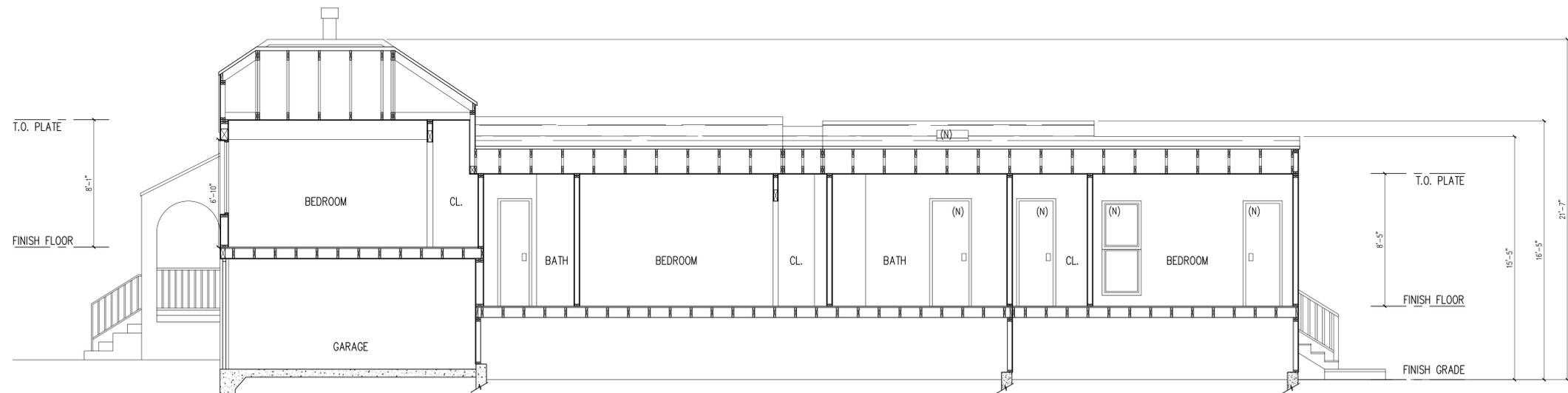
1 EXISTING SECTION A  
SCALE: 1/4" = 1'-0"



2 PROPOSED SECTION B  
SCALE: 1/4" = 1'-0"



3 EXISTING SECTION C  
SCALE: 1/4" = 1'-0"



4 PROPOSED SECTION D  
SCALE: 1/4" = 1'-0"

ADDITION/ REMODEL  
820 KEY RTE BLVD,  
ALBANY, CA 94706

PROPOSED SECTIONS

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05/28/2025  
SCALE  
NO SCALE  
ANURA JOB NO  
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A-6a



REVISIONS

- 1
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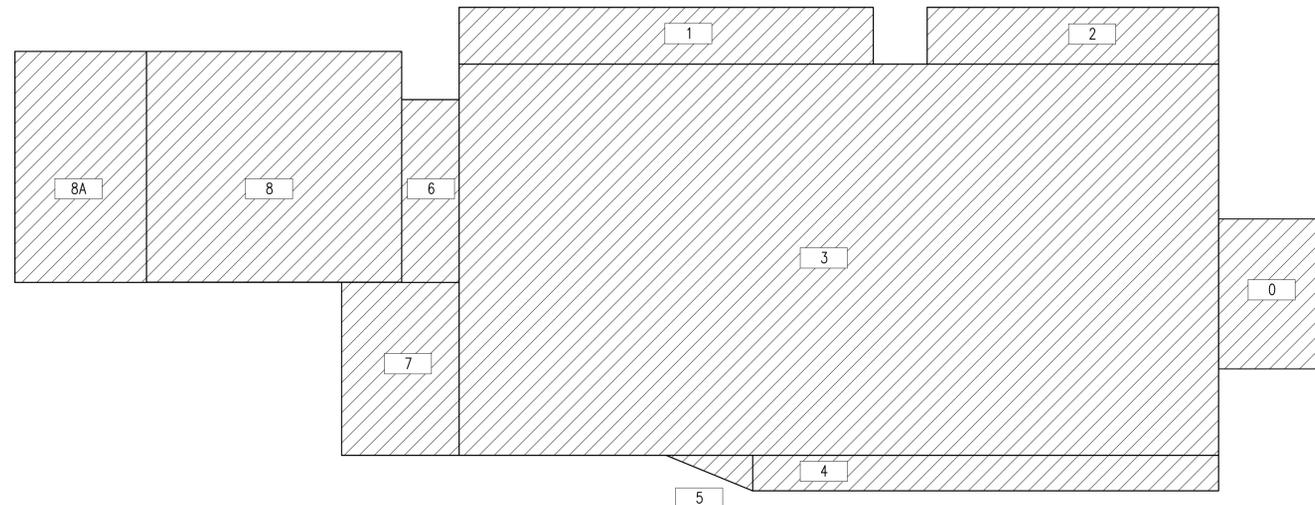
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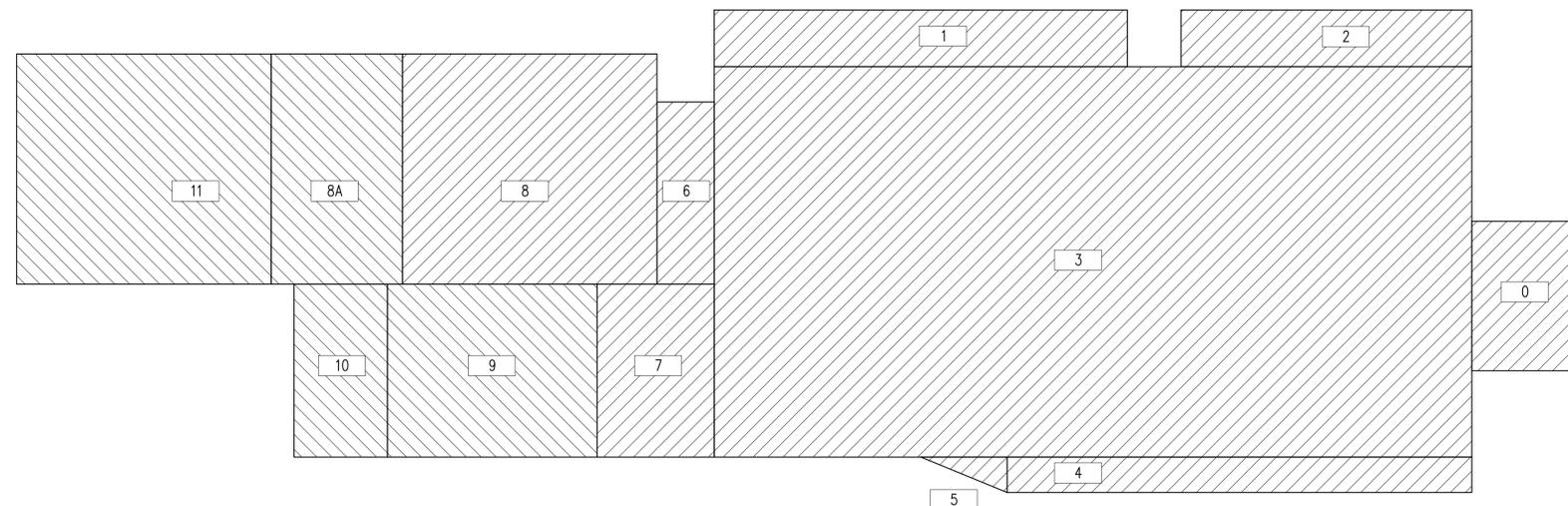
FLOOR AREA  
CALCULATIONS

DRAWN BY  
CA008  
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CA000  
ISSUE DATE  
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SCALE  
1/4"=1'-0"  
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FLOOR AREA ZONE DIAGRAM						
ZONE	DESCRIPTION	DIMENSIONS	AREA (S.F.)	AREA TOWARD F.A.R. (S.F.)	AREA TOWARDS FOOTPRINT (S.F.)	NOTES
0	(E) RESIDENCE	5'-0" X 7'-0"	35.0		35.0	FRONT PORCH
1	(E) RESIDENCE	19'-6" X 2'-8"	52.1	52.1	52.1	
2	(E) RESIDENCE	13'-9" X 2'-8"	36.7	36.7	36.7	
3	(E) RESIDENCE	18'-4" X 35'-10"	658.4	658.4	658.4	
4	(E) RESIDENCE	22'-0" X 1'-8"	36.6	36.6	36.6	
5	(E) RESIDENCE	4'-1" X 1'-8"/2	3.4	3.4	3.4	
6	(E) RESIDENCE	2'-8" X 8'-7"	23.2	23.2	23.2	
7	(E) RESIDENCE	5'-7" X 8'-1"	45.0	45.0	45.0	
8	(E) RESIDENCE	12'-0" X 10'-10"	130.4	130.4	130.4	
8A	(E) RESIDENCE	6'-2" X 10'-10"	67.3	67.3	67.3	UNPERMITTED ADDITION
9	ADDITION	9'-11" X 8'-2"	80.6	80.6	80.6	
10	ADDITION	4'-5" X 8'-2"	36.0	36.0	36.0	
11	ADDITION	12'-0" X 10'-10"	130.3	130.3	130.3	
<b>TOTAL</b>			<b>1,339.4</b>	<b>1,304.4</b>	<b>1,339.4</b>	
EXISTING RESIDENCE				<b>993.4</b>		CONDITIONED SPACE
PROPOSED ADDITION TO RESIDENCE				<b>314.2</b>		CONDITIONED SPACE
TOTAL DECKS, PATIOS & BALCONIES				<b>140.0</b>		
TOTAL GARAGE				<b>180.0</b>		



1 EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

LEGEND

- (E) RESIDENCE
- (N) ADDITION

REVISIONS

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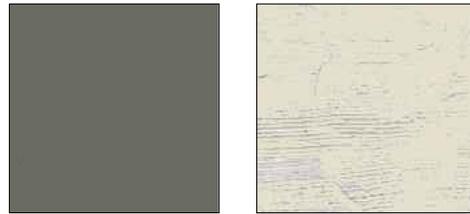


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ADDITION/ REMODEL  
820 KEY RTE BLVD,  
ALBANY, CA 94706

MATERIALS BOARD

DRAWN BY  
CA008  
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CA000  
ISSUE DATE  
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SCALE  
NO SCALE  
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CA2502-0007  
SHEET



1 SMOOTH TROWEL STUCCO FINISH  
1A ORIGINAL HEAVY TROWEL STUCCO FINISH



1A PAINTED STUCCO FINISH SHERWIN WILLIAMS SW 6200 LINK GRAY



2 PAINTED TRIM SHERWIN WILLIAMS SW 7618 DEEP SEA DIVE



3 ASPHALT COMPOSITION SHINGLES COLOR: GAF TIMBERLINE NATURAL SHADOW - CHARCOAL ARCHITECTURAL SERIES



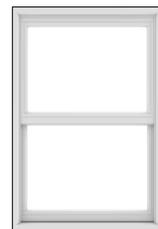
4 FRONT DOOR REAL CRAFT - "CRAFTSMAN TRIPLE LITE FRONT DOOR WITH WINDOW" SW 7076 CYBERSPACE



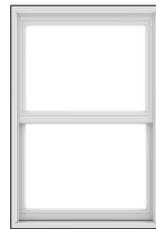
5 GARAGE DOOR SHERWIN WILLIAMS SW 6200 LINK GRAY



6 DECK RAILING & DECKING COLOR: BENJAMIN MOORE ARBORCOAT - SEMI-SOLID LEATHER SADDLE BROWN #2100-20



7 WINDOWS COLOR: ANDERSEN A-SERIES FIBREX FIBERGLASS EXTERIOR "WHITE"



10 WINDOWS COLOR: JELD-WEN V-2500 SERIES VINYL EXTERIOR "WHITE"



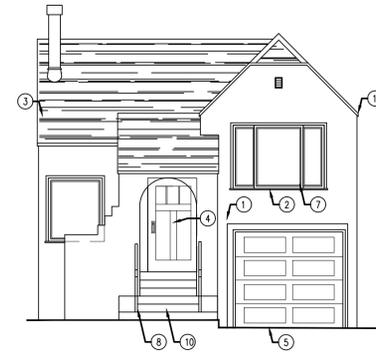
8 PAINTED METAL HANDRAIL & DRIVEWAY SHERWIN WILLIAMS SW 7076 CYBERSPACE



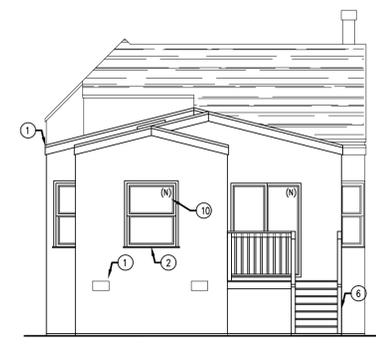
9 VELUX SKYLIGHT



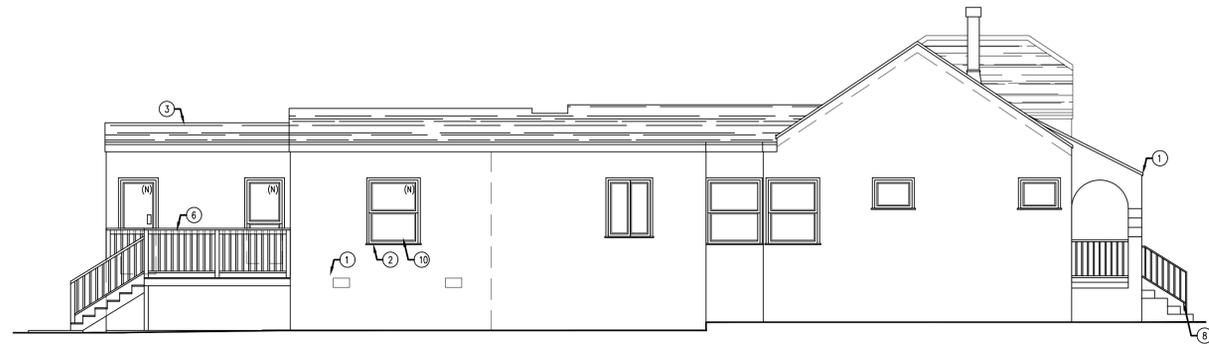
10 PAINTED FRONT PORCH STAIRS SHERWIN WILLIAMS SW 6079 CYBERSPACE



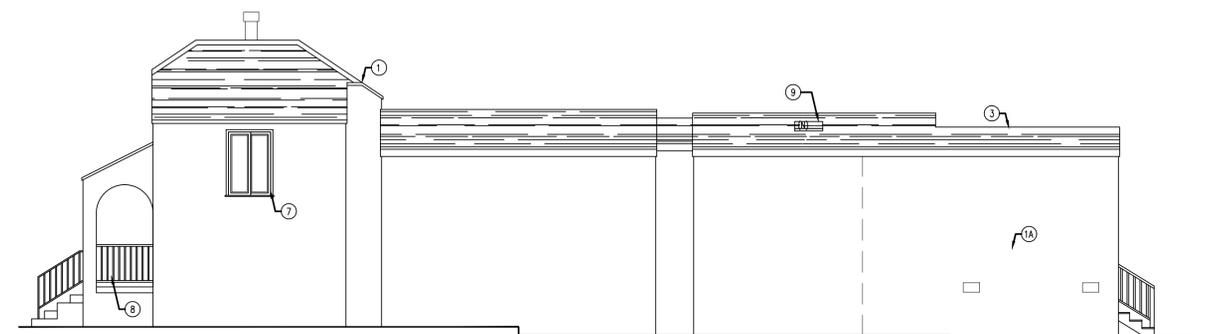
1 PROPOSED FRONT (EAST) ELEVATION SCALE: 3/16" = 1'-0"



2 PROPOSED (WEST) ELEVATION SCALE: 3/16" = 1'-0"



3 PROPOSED SIDE (SOUTH) ELEVATION SCALE: 3/16" = 1'-0"



4 PROPOSED SIDE (NORTH) ELEVATION SCALE: 3/16" = 1'-0"

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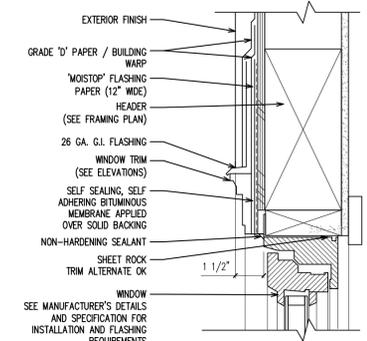
ADDITION/REMODEL  
820 KEY RTE BLVD,  
ALBANY, CA 94706

DETAILS

DRAWN BY  
CA008  
CHECKED BY  
CA000  
ISSUE DATE  
05/28/2025  
SCALE  
NO SCALE  
ANURA JOB NO  
CA2502-0007  
SHEET

FLASHING TO BE INSTALLED TO ADEQUATELY PREVENT MOISTURE FROM ENTERING THE WALL AT PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO THE LOCATIONS AND FLASHING INSTALLATION REQUIREMENTS IN CBC 2022 AND CRC 2022

1 HOUR FIRE RATED WALL: FOR FIRE RATED WALL SEE FIRES WALL DETAIL FOR WALL CONSTRUCTION



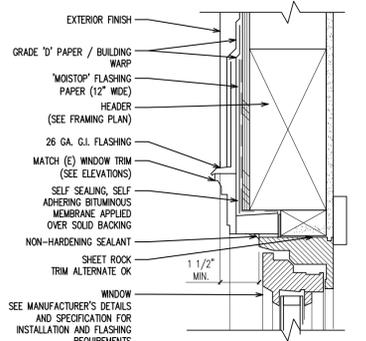
4 (E) WINDOW HEAD DETAIL – AT EXTERIOR WALL FINISH  
SCALE: N/A

FLASHING TO BE INSTALLED TO ADEQUATELY PREVENT MOISTURE FROM ENTERING THE WALL AT PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO THE LOCATIONS AND FLASHING INSTALLATION REQUIREMENTS IN CBC 2022 AND CRC 2022

1 HOUR FIRE RATED WALL: FOR FIRE RATED WALL SEE FIRES WALL DETAIL FOR WALL CONSTRUCTION

FLASHING TO BE INSTALLED TO ADEQUATELY PREVENT MOISTURE FROM ENTERING THE WALL AT PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO THE LOCATIONS AND FLASHING INSTALLATION REQUIREMENTS IN CBC 2022 AND CRC 2022

1 HOUR FIRE RATED WALL: FOR FIRE RATED WALL SEE FIRES WALL DETAIL FOR WALL CONSTRUCTION



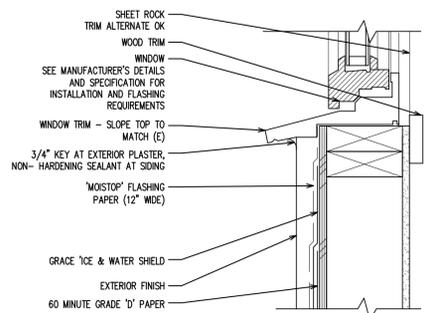
5 (N) WINDOW HEAD DETAIL – AT EXTERIOR WALL FINISH  
SCALE: N/A

FLASHING TO BE INSTALLED TO ADEQUATELY PREVENT MOISTURE FROM ENTERING THE WALL AT PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO THE LOCATIONS AND FLASHING INSTALLATION REQUIREMENTS IN CBC 2022 AND CRC 2022

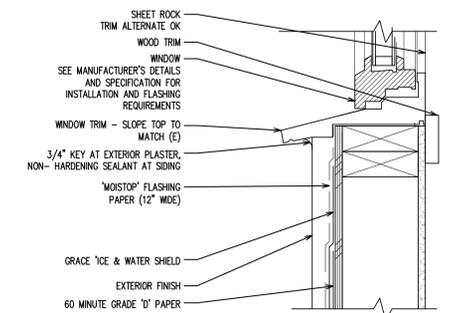
1 HOUR FIRE RATED WALL: FOR FIRE RATED WALL SEE FIRES WALL DETAIL FOR WALL CONSTRUCTION

FLASHING TO BE INSTALLED TO ADEQUATELY PREVENT MOISTURE FROM ENTERING THE WALL AT PENETRATIONS OF THE BUILDING ENVELOPE INCLUDING BUT NOT LIMITED TO THE LOCATIONS AND FLASHING INSTALLATION REQUIREMENTS IN CBC 2022 AND CRC 2022

1 HOUR FIRE RATED WALL: FOR FIRE RATED WALL SEE FIRES WALL DETAIL FOR WALL CONSTRUCTION



9 (E) WINDOW SILL DETAIL – AT EXTERIOR WALL FINISH  
SCALE: N/A



10 (N) WINDOW SILL DETAIL – AT EXTERIOR WALL FINISH  
SCALE: N/A